

# ABBREVIATIONS & SYMBOLS

∅	AND	F.D.	FLOOR DRAIN	S.A.C.P.	SUSPENDED ACOUSTICAL CEILING PANEL	(5)	DOOR NUMBER
⊙	AT	FDN.	FOUNDATION	SECT.	SECTION	(B)	WINDOW LETTER
—	CENTER LINE	F.E.	FIRE EXTINGUISHER	SHT.	SHEET	(A)	REVISION MARK
∅	DIAMETER	FGL.	FIBERGLASS	SHTNS.	SHEATHINGS	(9)	WALL TYPE INDICATOR
#	POUND(S)/NUMBER	FIN.	FINISHED	SIM.	SIMILAR		
ACOUS.	ACOUSTICAL	FT.	FOOT	STAGG.	STAGGERED		
ARCH.	ARCHITECTURAL	GYP.	GYPSUM	STL.	STEEL		
ADJ.	ADJUSTABLE	HORIZ.	HORIZONTAL	STOR.	STORAGE		
BD.	BOARD	HGT.	HEIGHT	STRUCT.	STRUCTURAL		
BLDG.	BUILDING	INSUL.	INSULATION	SUSP.	SUSPENDED		
BLK.	BLOCK	LAV.	LAVATORY	T	TREADS		
BM.	BEAM	MAX.	MAXIMUM	T. & B.	TOP & BOTTOM		
BOT.	BOTTOM	MECH.	MECHANICAL	T. & S.	TONGUE & GROOVE TYPICAL		
CAB.	CABINET	MFR.	MANUFACTURER	T.J.	TO WEATHER		
CLS.	CEILING	MIN.	MINIMUM	T.O.M.	TOP OF WALL		
CL.	CLOSET	M.O.	MASONRY OPENING	T.O.S.	TOP OF SLAB		
COL.	COLUMN	N	NORTH	U.N.O.	UNLESS NOTED OTHERWISE		
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD		
CONT.	CONTINUOUS	NO.	NUMBER	W	WITH		
CPT.	CARPET	O.H.	OVERHEAD	WD.	WOOD		
DBL.	DOUBLE	PLYND.	PLYWOOD	WH	WATER HEATER		
D.F.	DRINKING FOUNTAIN/DOUGLAS FIR	P.T.	PRESSURE TREATED	WO	WITHOUT		
DIA.	DIAMETER	PVC	POLYVINYL CHLORIDE	W.W.F.	WELDED WIRE FABRIC		
DET.	DETAIL	R	RISER	---	OUTLINE OF REMOVED OBJECT		
DN	DOWN	RAD.	RADIUS	---	OUTLINE/LINE OF OBJECT ABOVE		
DO	DITTO	REINF.	REINFORCED/REINFORCING	---	EXISTING WALL		
DW	DISHWASHER	R.O.	ROUGH OPENING	---	EXISTING WALL REMOVED		
DWS.	DRAWING	REIN.	REINFORCED/REINFORCING	---	EXISTING WALL REMOVED		
EA.	EACH	R.O.	ROUGH OPENING	---	EXISTING WALL REMOVED		
EL.	ELEVATION						
ELEV.	ELEVATOR						
EXIST.	EXISTING						
EQ.	EQUAL						

# POWERS RESIDENCE

SEBAGO, MAINE

## CODE SUMMARY:

INTERNATIONAL RESIDENTIAL CODE - 2003 EDITION

PROJECT: Powers Residence  
 LOCATION: 46 South Beach Street, Sebago, Maine  
 FINISHED LIVING SPACE: 1,084 s.f.

**Chapter 1 Administration**  
**R101.2 Scope.**  
 The proposed building is a detached single family residence with an attached garage.

**Chapter 3 Building Planning**  
**(B)R301.2**  
 This building has been designed in accordance with the provisions of this code to resist the basic wind speeds listed in Figure R301.2(4). This area is not considered a Special Wind Region.

**R301.2.1.4 Exposure Category.**  
 The site of this building is located in an area which would be categorized as Exposure D.

**R 301.2.2 Seismic provisions.**  
 The site of this building is located in a seismic design category A.

**R301.2.3 Snow Loads.**  
 The ground and roof snow load for this region is 60#/sf./42#/sf.

**R301.2.4 Floodplain Construction.**  
 The site of this building is located in a floodplain.

**R301.5 Live Load.**  
 This building has been designed to support the live loads noted in Table 301.5.

**R301.6 Roof Load.**  
 This building has been designed to support the snow loads of 42#/sf.

**R301.7 Deflection.**  
 This building has been designed to exceed the minimum deflections listed in Table R301.7.

**R 309.1 Habitable Rooms.**  
 All habitable rooms have glazing areas that exceed the minimum of 8%, and the minimum openable area of 4%.

**R304.1 Minimum area.**  
 This building design exceeds the minimum requirements of this section.

**R305.1 Minimum height.**  
 This building design exceeds the minimum requirements of this section.

**R306 Sanitation**  
 This building design exceeds the minimum requirements of this section.

**R307 Toilet, Bath and Shower Spaces.**  
 This building design exceeds the minimum requirements of this section.

**R308 Glazing.**  
 This building has been designed to provide safety glazing where required by R308.4.

**R304 Garages and Carports.**  
 Not Applicable.

**R310 Emergency Escape and Rescue Openings.**  
 Every living room and sleeping room in this building has been designed with an emergency escape window or door as required by this section.

**R311 Means of Egress.**  
 The means of egress of this building have been designed to meet the requirements of this section.

**R311.3 Hallways**  
 All hallways are at least 3 feet wide.

**R311.4 Exit door required.**  
 There is at least one exit door from this building.

**R311.5 Stairways.**  
 The stairways are greater than 36" wide.  
 The riser height is less than 7 3/4" high.  
 The tread width is 10" plus a nosing.  
 The width of the landing is as wide as the run of the stair and is at least 36" in the direction of travel.

- 6.5 FRAME ALL EXTERIOR DECKS AND STAIRS WITH PRESSURE PRESERVATIVE TREATED LMBER.
- 6.6 PROVIDE AND INSTALL ALL ROUGH HARDWARE SUCH AS NAILS, SCREWS, CLIPS AND OTHER FRAMING DEVICES SHOWN OR REQUIRED FOR SECURING ITEMS OF ROUGH CARPENTRY.
- 6.7 PROVIDE 2" MINIMUM CLEARANCE AROUND MASONRY CHIMNEYS TO ALL WOOD FRAMING. FIRESTOP WITH NON-COMBUSTIBLE MATERIALS 1" DEEP AT BOTTOM OF JOISTS.
- 6.8 WHERE EXISTING SIDING IS REMOVED - REPAIR/REPLACE EXISTING SHEATHINGS AS NEEDED. INSTALL NEW SIDING OVER "TYVEK" HOUSEWRAP AIR INFILTRATION BARRIER.
- 7.1 PAINT ALL VENT STACKS AND RAIN DIVERTERS TO MATCH ROOFING COLOR.
- 7.2 INSTALL 10" x 1" STEP FLASHING AT SIDEWALL TO ROOF INTERSECTIONS. HOLD SIDING UP FROM ROOF SURFACE 1 1/2" MINIMUM.
- 7.3 INSTALL METAL DRIP EDGE AT ALL RAKES AND EAVES.
- 7.4 INSTALL FIBERGLASS ASPHALT SHINGLES OVER COMPLETE COURSE OF WATERPROOFING UNDERLAYMENT INSTALL IN ACCORDANCE TO THE ASPHALT ROOFING MANUFACTURER'S ASSOCIATION'S "RESIDENTIAL ASPHALT ROOFING MANUAL" RECOMMENDATIONS AND INSTRUCTIONS.
- 7.5 INSULATE FIRST FLOOR TO A MINIMUM OF (R-21) AND VERIFY THAT THERE IS ADEQUATE VENTILATION (1/300) IN BASEMENT/GRAVEL SPACE.
- 7.6 PROVIDE ATTIC AND ROOF RAFTER VENTILATION EQUAL TO (1/300) OF AREA TO BE VENTED.
- 7.7 INSULATE EXTERIOR WALLS TO A MINIMUM OF (R-21).
- 7.8 INSULATE ATTIC TO A MINIMUM OF (R-42).
- 7.9 INSULATE SLOPED CEILING TO A MINIMUM OF (R-38).
- 7.10 INSTALL INSULATION BATTLES AS REQUIRED TO ALLOW PROPER VENTILATION AT EAVES AND ON SLOPED CEILING.
- 8.1 AT LEAST ONE EGRESS WINDOW OR DOOR TO THE OUTSIDE PER ROOM IS REQUIRED IN ALL LIVING AREAS AND BEDROOMS. EGRESS WINDOWS MUST MEET N.F.P.A. (O) "LIFE SAFETY CODE" REQUIREMENTS FOR A 20" CLEAR MINIMUM OPENABLE WIDTH AND A 24" CLEAR MINIMUM OPENABLE HEIGHT, TOTALING 5.7 S.F. OF OPENABLE AREA. HEIGHT TO THE BOTTOM OF THE OPENING SHALL NOT EXCEED 44" ABOVE THE FINISHED FLOOR.
- 9.1 INSTALL MOISTURE RESISTANT "MR" GYPSUM BOARD AT WALLS AND CEILING OF BATHROOMS/SHOWER ROOMS.
- 9.2 INSTALL TILE BACKER BOARD AT WALLS TO RECEIVE TILE.
- 10.1 INSTALL 5 SHELVES IN ALL LINEN CLOSETS.
- 10.2 INSTALL SHELF AND POLE IN ALL CLOSETS UNLESS OTHERWISE NOTED OR DETAILED. TOP OF SHELF SHALL BE AT 5'-6" A.F.F UNLESS OTHERWISE NOTED.
- 10.3 INSTALL DRIP PANS UNDER ALL WATER HEATERS AS SUPPLIED BY MECHANICAL SUBCONTRACTOR.
- 10.4 BATH FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER.

INFORMATION SHOWN ON THE COVER SHEET APPLIES TO ALL TRADES FOR THE WORK OF THIS PROJECT, AND INCLUDES TYPICAL NOTES AND SPECIFIC CODE REQUIREMENTS FOR THOSE TRADES. CROSS-REFERENCE THE CODE SUMMARY WITH THE DRAWINGS AND SPECIFICATIONS.

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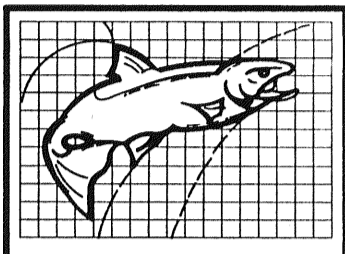
## GENERAL DEMOLITION NOTES

1. DEMOLITION OF EXISTING CONSTRUCTION SHALL BE AS SHOWN ON THE DRAWINGS, AND LIMITED TO THAT WHICH IS REQUIRED TO BE REMOVED IN ORDER TO ACCOMMODATE THE NEW FLOOR PLAN. THE CONTRACTOR SHALL COMPLETELY FAMILIARIZE HIMSELF WITH THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK.
2. DEMOLITION AND REMOVALS ARE NOT LIMITED TO THE ITEMS LISTED IN THE DEMOLITION NOTES, OR SHOWN ON THE PLAN. THE DEMOLITION NOTES SHOULD BE USED AS A GUIDELINE FOR EXISTING CONDITIONS.
3. COORDINATE REMOVAL OF ALL ITEMS AND SYSTEMS WITH THE OWNER. RETURN TO OWNER, RELOCATE, AND/OR DISPOSE OF, REMOVED ITEMS AS REQUESTED BY THE OWNER.
4. COORDINATE METHOD OF TRASH REMOVAL AND PROTECTION REQUIRED WITH OWNER.
5. PROVIDE TEMPORARY PROTECTION AS REQUIRED AT UNPROTECTED HORIZONTAL AND/OR VERTICAL OPENINGS.
6. ALL OPENINGS AND VOIDS LEFT BY THE REMOVAL OR DEMOLITION OF EXISTING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, ETC., SHALL BE PROPERLY PATCHED AND/OR CLOSED-OFF, MAINTAINING FIRE RATINGS OF THE CONSTRUCTION AS REQUIRED. PREPARE ALL PATCHES AS NECESSARY TO RECEIVE NEW FINISHES.
7. REMOVE ALL EXISTING FLOOR COVERINGS IN AREAS TO BE RENOVATED. SEE NEW FLOOR PLAN FOR EXTENT OF NEW FLOOR COVERINGS. REMOVAL AND DISPOSAL OF ANY VINYL ASBESTOS TILE SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
8. WHERE THE PATCHING OF EXISTING FLOOR IS REQUIRED, SLOPING OR RAMPING TO LEVEL FLOOR SHALL NOT EXCEED 1/8" PER TEN FEET MAXIMUM, UNLESS OTHERWISE NOTED.
9. WALLS SHALL BE COMPLETELY REMOVED FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE, AND SHALL INCLUDE ALL MECHANICAL, ELECTRICAL, AND OTHER MISCELLANEOUS EQUIPMENT, ETC. ON OR WITHIN REMOVED WALLS. DO NOT REMOVE ANY MECHANICAL, ELECTRICAL, OR OTHER EQUIPMENT WHICH SERVES OTHER AREAS OF THE BUILDING, OR ARE REQUIRED TO REMAIN ACTIVE. NOTIFY ARCHITECT OF ANY EQUIPMENT/ITEMS WHICH WILL REQUIRE RE-ROUTING. RELOCATE AND/OR REMOVE ANY SERVICES DETERMINED TO BE SERVING MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT REQUIRED TO REMAIN ACTIVE WHICH SERVES OTHER AREAS OF THE BUILDING. PREPARE ALL AREAS DISTURBED BY THE DEMOLITION WORK FOR THE NEW CONSTRUCTION.
13. ALL MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS AND/OR FLOORS SUCH AS CABINETS, SHELVING, ETC. SHALL BE REMOVED AND SALVAGED UNLESS OTHERWISE NOTED. COORDINATE WITH THE OWNER FOR STORAGE, RELOCATION, AND/OR DISPOSAL OF SAID ITEMS.
15. ALL HVAC EQUIPMENT SHALL BE REMOVED, INCLUDING ALL GRILLES, THERMOSTATS, ETC. ALL EXISTING DUCTWORK SHALL TEMPORARILY REMAIN IN PLACE. MECHANICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL MODIFICATIONS AND REMOVALS OF EXISTING DUCTWORK EXPOSED BY DEMOLITION WORK WITHIN THIS SPACE. SALVAGE ALL DIFFUSERS. DISCONNECT EXISTING DUCTWORK FROM DIFFUSERS. SALVAGE ALL EXISTING THERMOSTATS. LEAVE CONNECTED TO WIRING AND WIND UP TO LOCATION ABOVE WORK AREA FOR PROTECTION DURING WORK. TURN UNUSED MAJOR MECHANICAL SYSTEMS OVER TO OWNER.
16. EXISTING ELECTRICAL ITEMS TO BE ABANDONED SHALL BE REMOVED, INCLUDING CONDUIT, JUNCTION BOXES, WIRE CABLE, SUPPORTS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, SECURITY EQUIPMENT, SPEAKERS, TELEPHONE OUTLETS, ELECTRIC PANELS AND LIGHTING. SALVAGE ALL LIGHTING FIXTURES AND FIRE ALARM EQUIPMENT. AND COORDINATE WITH THE OWNER FOR STORAGE, RELOCATION AND/OR DISPOSAL OF ITEMS. ANY BRANCH CIRCUIT REMOVAL SHALL BE BACK TO THE PANEL BOARD, OR FIRST REMAINING ACTIVE JUNCTION BOX. DO NOT REMOVE ITEMS THAT ARE REQUIRED TO REMAIN IN SERVICE.
17. ANY EXISTING WIRING, CONDUIT, ETC., OR PORTIONS THEREOF, REMOVED DURING DEMOLITION, SHALL NOT BE REUSED UNLESS OTHERWISE NOTED.
19. REMOVAL OF EXISTING PLUMBING ITEMS SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL FIXTURES AND ASSOCIATED PIPING (SUPPLY, WASTE, VENT, ETC.). REMAINING PIPING SHALL BE CAPPED AS REQUIRED, AND ANY REROUTING NECESSARY SHALL BE DONE WITHOUT AFFECTING THE PERFORMANCE OF EXISTING OR NEW PLUMBING SYSTEM.

## GENERAL NOTES

1. DIMENSIONS WHERE PROVIDED SHALL TAKE PRECEDENT OVER SCALE OF DRAWINGS. CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS AT WORK.
2. THIS PLAN ILLUSTRATES THE GENERAL CONDITION OF THE BUILDING AT THIS TIME AND IS NOT INTENDED TO BE COMPLETE OR ACCURATE. CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING WORK.
3. INTERPRETATION OF CONTRACT DOCUMENTS: CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY, OR ERROR WHICH THEY MAY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS OR OF THE SITE AND LOCAL CONDITIONS. IF THE CONTRACTORS KNOWINGLY DO NOT NOTIFY THE ARCHITECT OF SUCH AMBIGUITY, INCONSISTENCY, OR ERROR, THEY THEREFORE ACCEPT SUCH CONDITIONS AND WILL MAKE SUCH ADDITIONS OR CORRECTIONS NECESSARY TO PROPERLY COMPLETE THE WORK AT THEIR EXPENSE.
4. PERFORM ALL WORK OF THIS CONTRACT ACCORDING TO ALL APPLICABLE LOCAL, STATE, OR FEDERAL CODES AND/OR ORDINANCES. SECURE ALL PERMITS REQUIRED.
5. PROVIDE DUST PROTECTION AS NEEDED, AND AS DIRECTED BY ARCHITECT/OWNER.
6. DESIGN AND INSTALLATION OF ALL MECHANICAL SYSTEMS IS THE RESPONSIBILITY OF THE SUBCONTRACTORS FOR THE SPECIFIC TRADES AND MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
7. DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS IS THE RESPONSIBILITY OF THE SUBCONTRACTORS FOR THE SPECIFIC TRADES AND MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
8. NOTHING IN THESE DRAWINGS OR SPECIFICATIONS SHALL IMPOSE LIABILITY ON THE ARCHITECT OR HIS CONSULTANTS FOR CLAIMS, LAWSUITS, EXPENSES OR DAMAGES ARISING FROM OR IN ANY MANNER RELATED TO THE EXPOSURE TO, OR THE HANDLING, OR THE DISPOSAL OF, ASBESTOS, ASBESTOS PRODUCTS, LEAD PAINT, OR HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE EPA.
- 2.1 SLOPE GRADES AWAY FROM BUILDINGS AT 5 PERCENT MINIMUM FOR 10'-0".
- 2.2 PERFORM GRADINGS TO PROVIDE POSITIVE DRAINAGE FOR ALL AREAS OF THE SITE.
- 2.3 PROVIDE 6" MIN. CLEARANCE FROM BOTTOM OF SIDING OR 8" MINIMUM CLEARANCE FROM THE TOP OF THE FOUNDATION TO FINISH GRADE AT PERIMETER OF BUILDING, WHICHEVER IS GREATER.
- 2.4 SEED AND MULCH ALL SURFACE DRAINAGE DITCHES AS SOON AS POSSIBLE TO PREVENT EROSION AND SEDIMENTATION. PROVIDE HAY BALE DAMS ALONG DRAINAGE DITCHES AT 100' INTERVALS MAXIMUM, DURING CONSTRUCTION PERIOD, AND MAINTAIN UNTIL LAWN AREAS ARE ESTABLISHED AND MULCH BEDS ARE INSTALLED.
- 2.5 PROTECT FROM HARM ALL EXISTING TREES AND SHRUBS INTENDED TO REMAIN.
- 2.6 CONTACT LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING SITE WORK.
- 2.7 INSTALL PERIMETER DRAINS AROUND INSIDE OF BUILDING AND PITCH DRAINS TO SUMP.
- 3.1 EXTEND ALL BUILDING FOOTINGS TO UNDISTURBED SOIL, OR SOLID ROCK, EXCEPT WHEN BEARING ON SOLID ROCK, EXTEND FOOTINGS BELOW THE FROST LINE OF THE LOCALITY.
- 3.2 WHEN GRADE BEAMS OR THICKENED SLABS BEAR ON NEW FILL, COMPACT FILL TO 95 PERCENT MINIMUM DRY DENSITY.
- 6.1 ARCHITECT UNABLE TO VERIFY ALL EXISTING STRUCTURE DUE TO EXISTING INTERIOR FINISHES. CONTRACTOR SHALL VERIFY THAT EXISTING BEAMS AND HEADERS ARE ADEQUATE TO SUPPORT FLOOR(S) AND/OR ROOF LOADS. CONTRACTOR TO NOTIFY ARCHITECT FOR DISPOSITION OF SAME.
- 6.2 ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED.
- 6.3 FIRESTOP ALL STUD BAYS AT DROPPED CEILING LEVEL OR CONTINUE GYPSUM BOARD TO TOP PLATE.
- 6.4 PROVIDE ALL NECESSARY BLOCKING TO RECEIVE CABINETS, SHELVING, ACCESSORIES, CURTAIN RODS, AND ANY OTHER BUILT-IN EQUIPMENT SHOWN ON THE DRAWINGS.

REVISIONS



Salmon Falls Architecture

Biddeford, ME 04005

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DRAWN: AKB

CHECKED: KMB, PCH

DATE: 2-5-2008

PROJECT NO. 0730

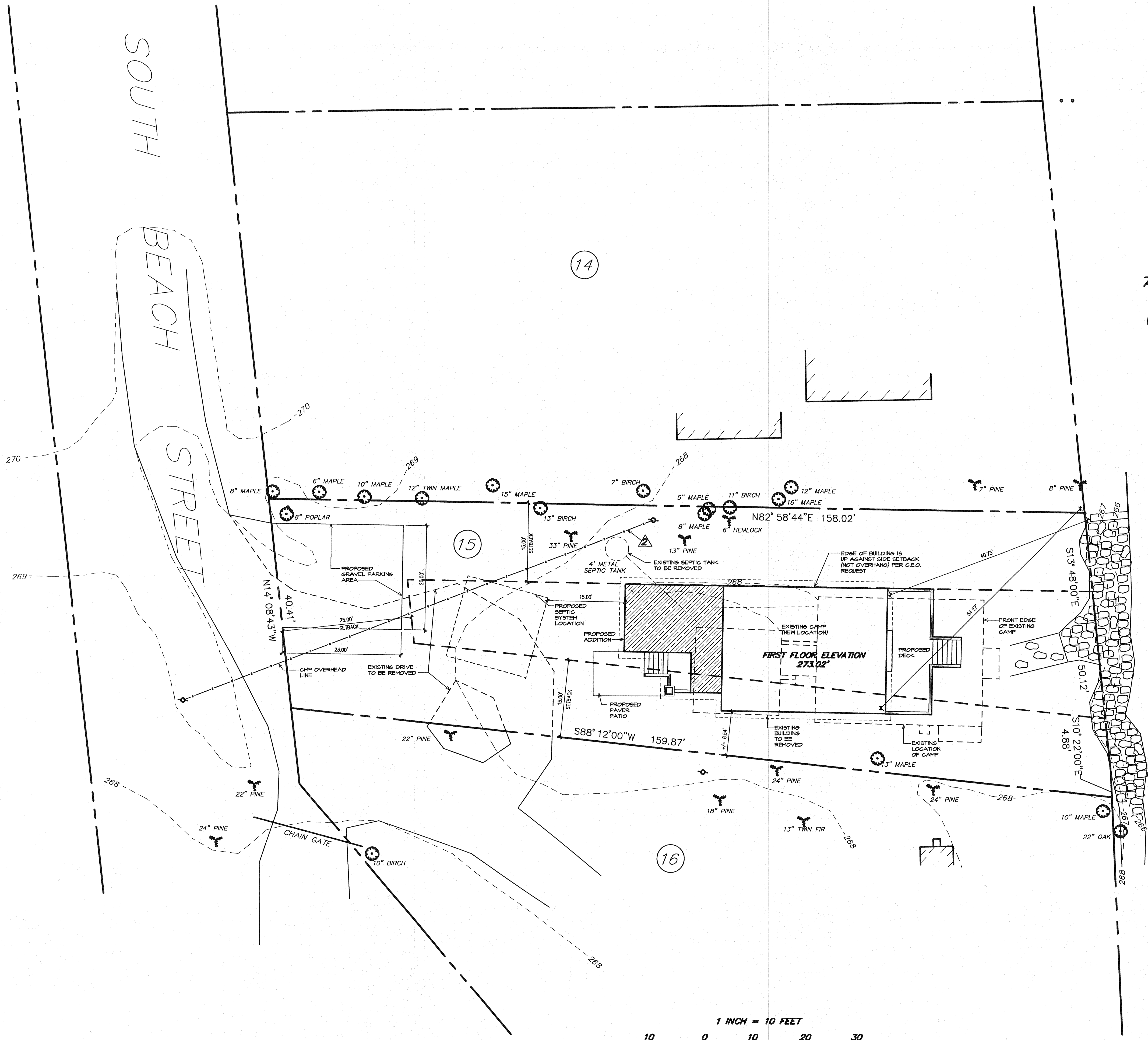
**Powers Renovations**  
 46 South Beach St.  
 Sebago, Maine

COVER SHEET

A-0

0730-0005





**NOTES:**

1. THIS BUILDING HAS BEEN DESIGNED SUCH THAT ONE WALL IS TIGHT TO THE SETBACK LINE ALONG ONE SIDE OF THE PROPERTY. SALMON FALLS ARCHITECTURE ACCEPTS NO RESPONSIBILITY FOR ERRORS OR DISCREPANCIES IN THE INFORMATION PROVIDED BY CULLENBERG LAND SURVEYING.
2. THE CONTRACTOR SHALL EMPLOY A PERSON WITH ENGINEERING EXPERIENCE TO DO THE LAYOUT OF ALL SITE WORK, GRADINGS, AND VERIFICATION OF SETBACKS AND PROPERTY LINES.

**REFERENCES**

- 1) PLAN OF LAND MADE FOR THEODORE LEBREQUE DATED AUG. 1954 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 41, PAGE 72.

**NOTES**

- 1.) BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1954.
- 2.) BASE FLOOD ELEVATION OF SEBAGO LAKE IS 268.00' PER FLOOD INSURANCE STUDIES DATED APRIL 1, 1981.
- 3.) SITE PLAN INFORMATION TAKEN FROM "PLAN OF PROPERTY 46 SOUTH BEACH STREET, SEBAGO, MAINE, MADE FOR SALMON FALLS ARCHITECTURE" AS PREPARED BY CULLENBERG LAND SURVEYING, 892 OLD DANVILLE ROAD, AUBURN, MAINE, DATED JULY 3, 2007.

△ THERE ARE NO RIGHTS OF WAY ACROSS THIS PROPERTY. THE RIGHT OF WAY NOTED ON DEED IS IN REFERENCE TO SOUTH BEACH ROAD.

△ THE EASEMENT NOTED ON DEED IS A CENTRAL MAINE POWER, POWERLINE EASEMENT TO SEVICE THIS LOT AND ADJACENT LOT.

KEVIN W. CULLENBERG PLS 1278 NOVEMBER 15, 2007

CULLENBERG LAND SURVEYING  
892 OLD DANVILLE ROAD  
AUBURN, MAINE 04210

SEBAGO  
LAKE

**OWNER OF RECORD**

WILLIAM R. HALLETT &  
BARBARA J. POWERS  
13078/285

**LEGEND**

- IRON PIN FOUND
- IRON PIN SET
- MONUMENT FOUND
- ⊕ UTILITY POLE
- - - EDGE OF GRAVEL
- ▨ EXISTING BUILDING
- N/F NOW OR FORMERLY
- ⊞ STONES

ANDROSCOGGIN ss. REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_, 20\_\_\_\_  
at \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_ M \_\_\_\_\_  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTER

**SEE COVER SHEET FOR GENERAL NOTES AND CODE SUMMARY**

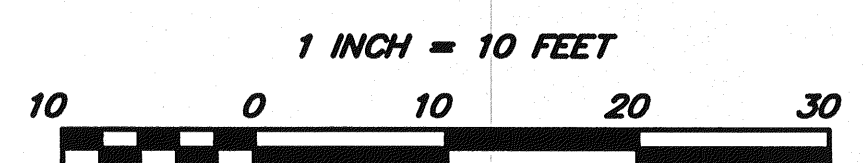
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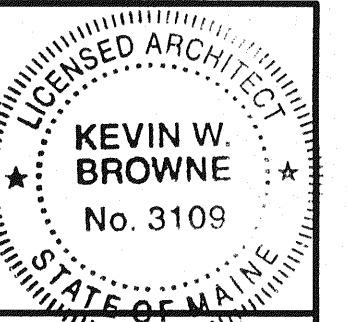
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REVISIONS  
11/15/07- ADDED NOTES, MOVED LOCATION OF BUILDING, MOVED PARKING AREA.  
2/5/08 - ISSUED FOR CONSTRUCTION

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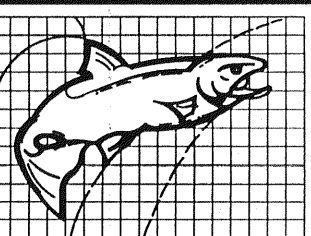
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CHECKED: KWB, PCH  
DATE: 10/1/07  
PROJECT NO: 0730

**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

**SITE PLAN**  
SCALE: 1" = 10'-0"

**S-1**

CONTRACT SET



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CHECKED: KMB, PCH

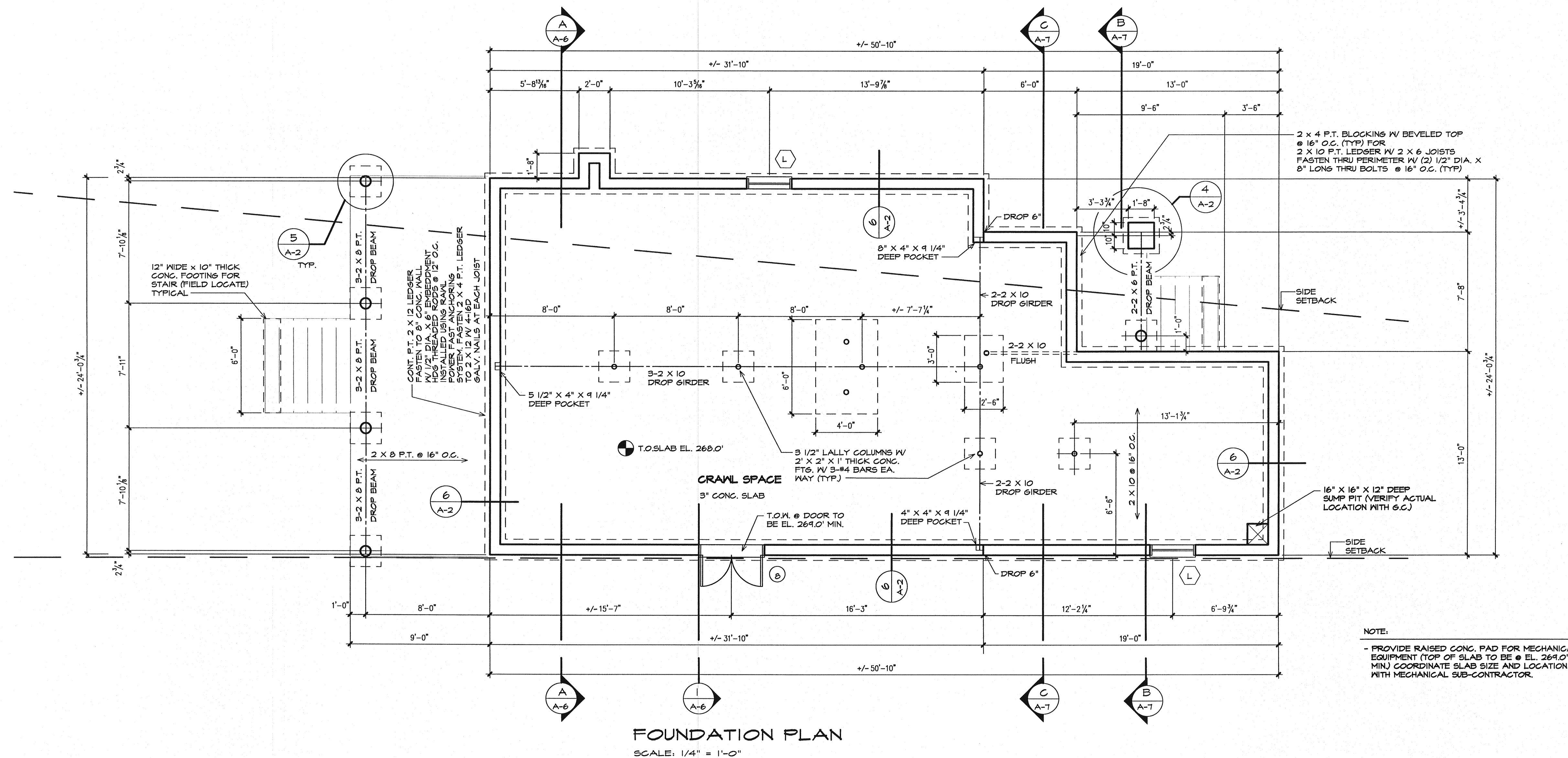
DATE: 2-5-2008

PROJECT NO. 0730

**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**A-1**



NOTE:  
- PROVIDE RAISED CONG. PAD FOR MECHANICAL EQUIPMENT (TOP OF SLAB TO BE @ EL. 269.0' MIN.) COORDINATE SLAB SIZE AND LOCATION WITH MECHANICAL SUB-CONTRACTOR.

**SEE COVER SHEET FOR GENERAL NOTES AND CODE SUMMARY**

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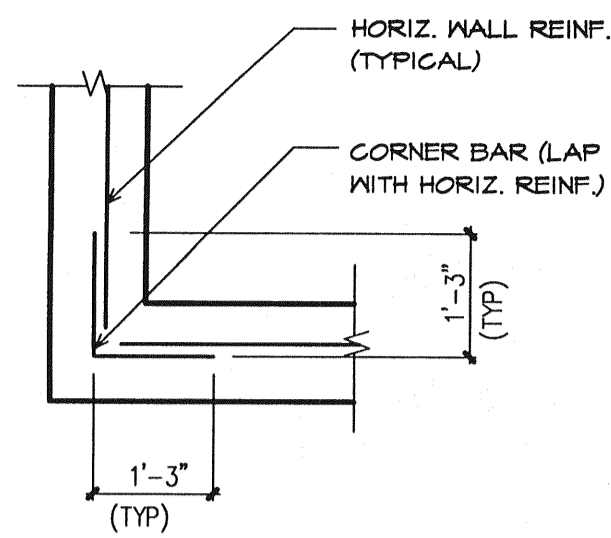
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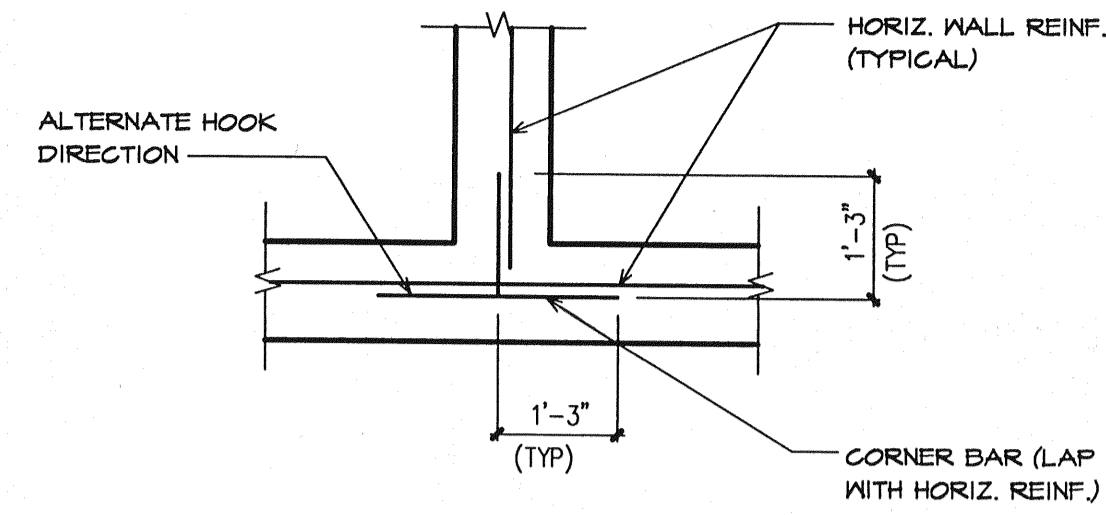
NOTE:  
1. FOOTING REINFORCING SIMILAR

PLAN VIEW

**TYPICAL CORNER REINFORCING**

N.T.S.

1



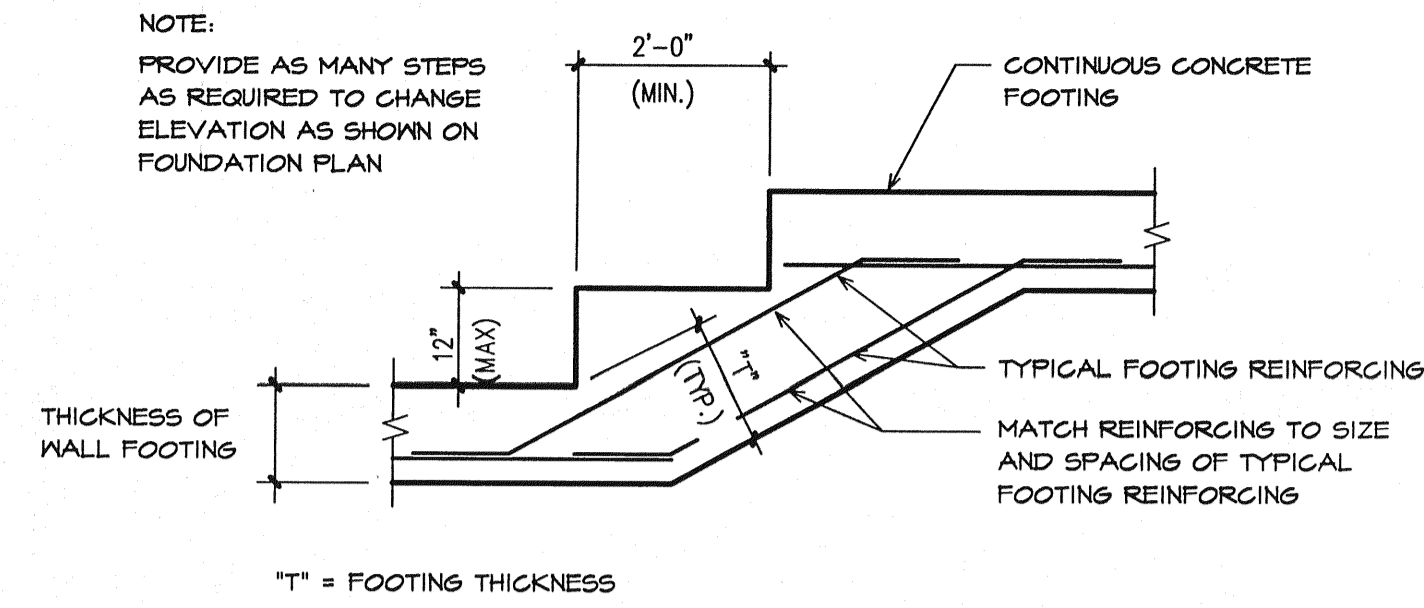
NOTE:  
1. FOOTING REINFORCING SIMILAR

PLAN VIEW

**TYPICAL WALL INTERSECTION REINFORCING**

N.T.S.

2

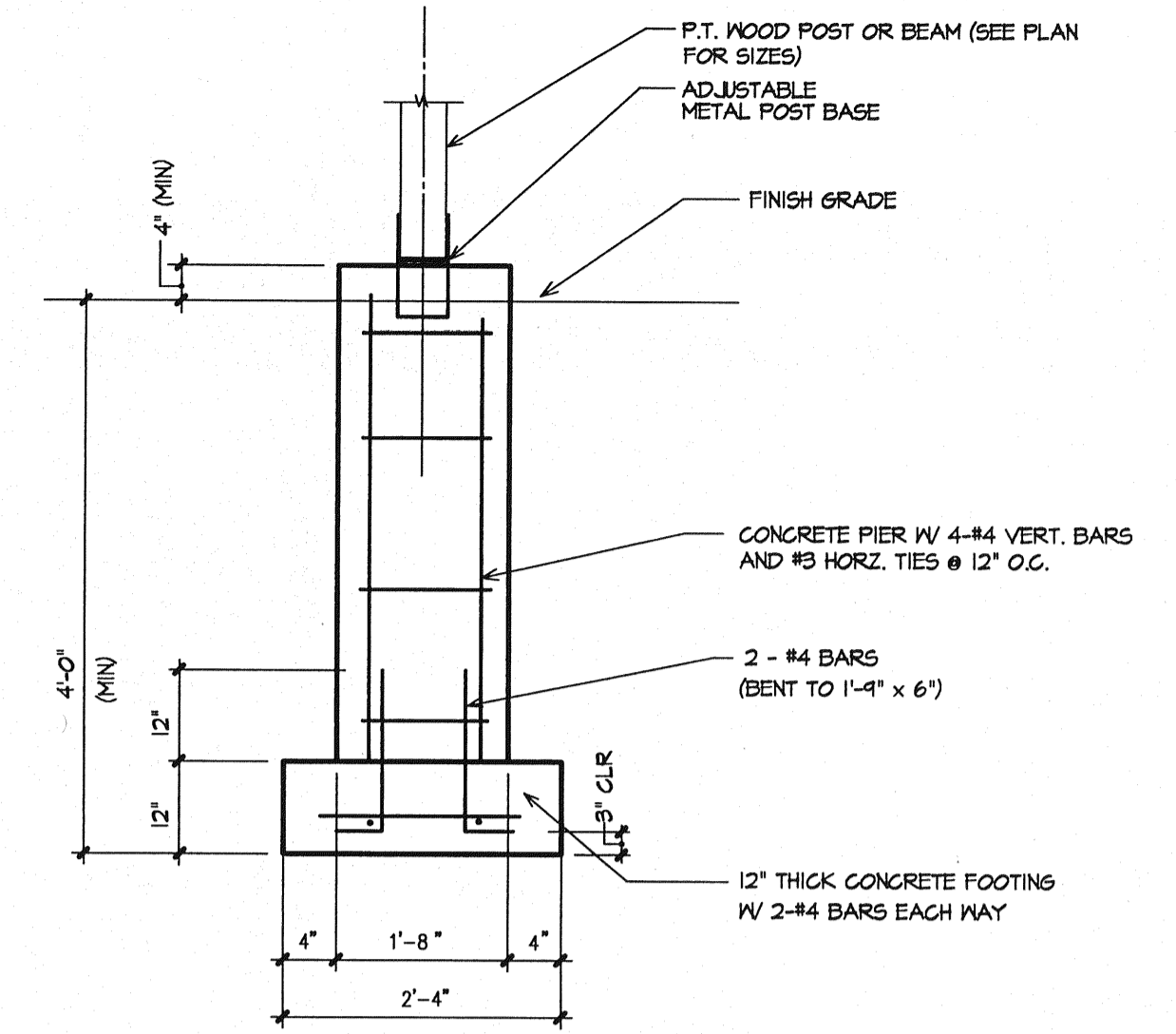


NOTE:  
PROVIDE AS MANY STEPS AS REQUIRED TO CHANGE ELEVATION AS SHOWN ON FOUNDATION PLAN

**TYPICAL STEPPED FOOTING DETAIL**

SCALE: 1/2" = 1'-0"

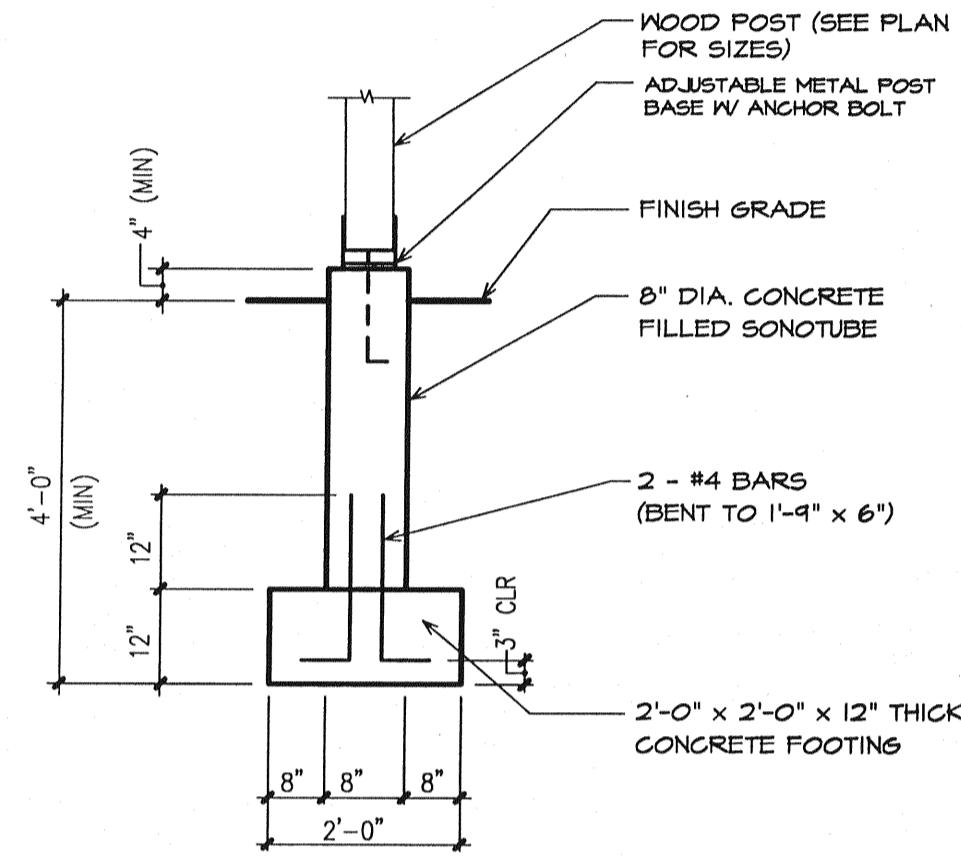
3



**PIER/FOOTING DETAIL**

SCALE: 1/2" = 1'-0"

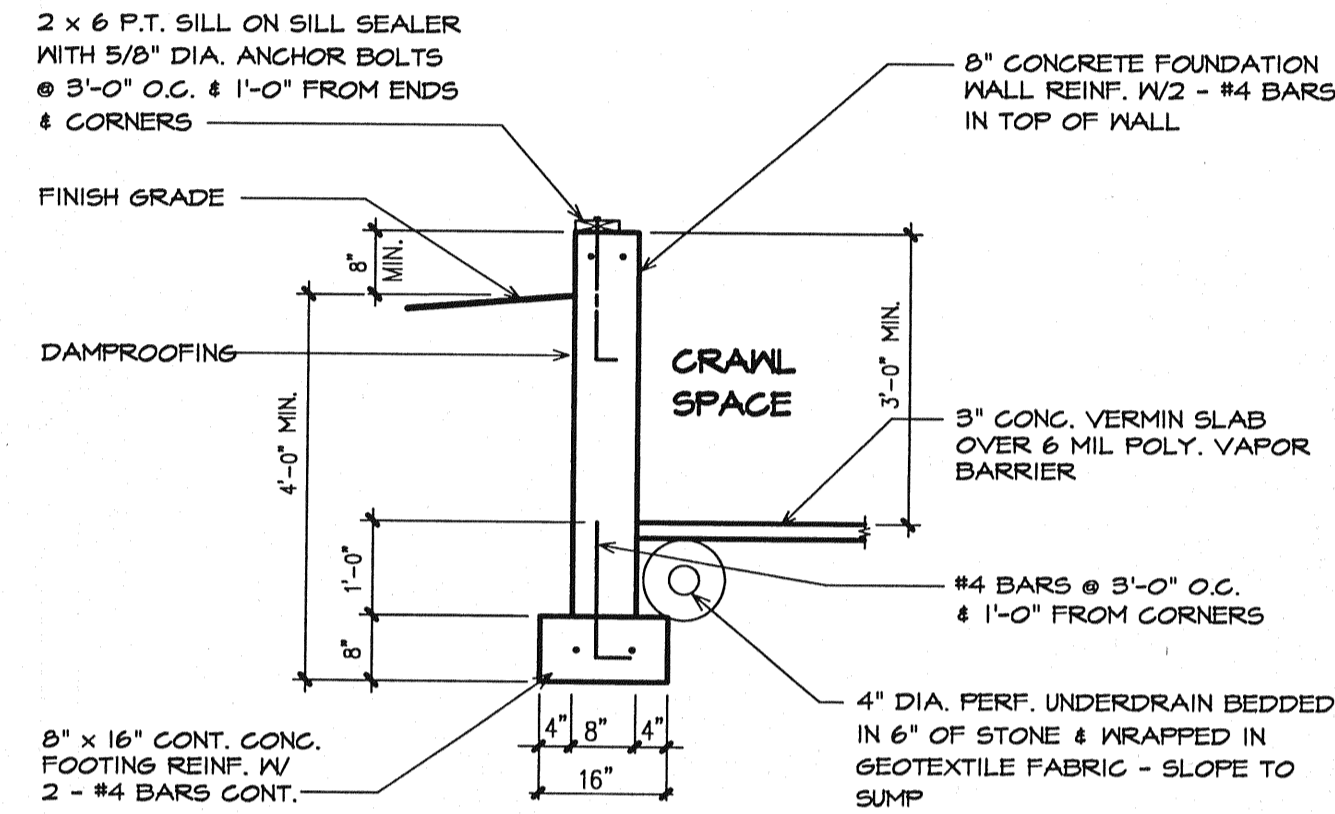
4



**SONOTUBE/FOOTING DETAIL**

SCALE: 1/2" = 1'-0"

5

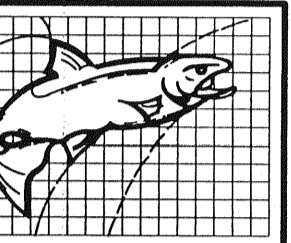


**TYPICAL FOUNDATION WALL DETAIL**

SCALE: 1/2" = 1'-0"

6

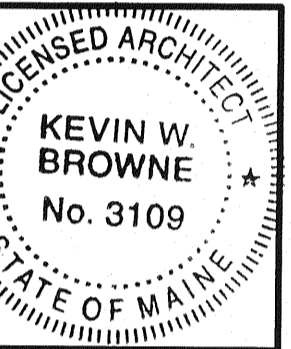
REVISIONS



**Salmon Falls Architecture**

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(207) 283-4247  
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DRAWN:

AKB

CHECKED:

KWB, PCH

DATE:

2-5-2008

PROJECT NO.

0780

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**Powers Renovations**

46 South Beach St.  
Seabago, Maine

FOUNDATION DETAILS  
SCALE: AS NOTED

**A-2**

SEE COVER SHEET FOR GENERAL NOTES AND CODE SUMMARY

INFORMATION SHOWN ON THE COVER SHEET APPLIES TO ALL TRADES FOR THE WORK OF THIS PROJECT, AND INCLUDES TYPICAL NOTES AND SPECIFIC CODE REQUIREMENTS FOR THOSE TRADES. CROSS-REFERENCE THE CODE SUMMARY WITH THE DRAWINGS AND SPECIFICATIONS.

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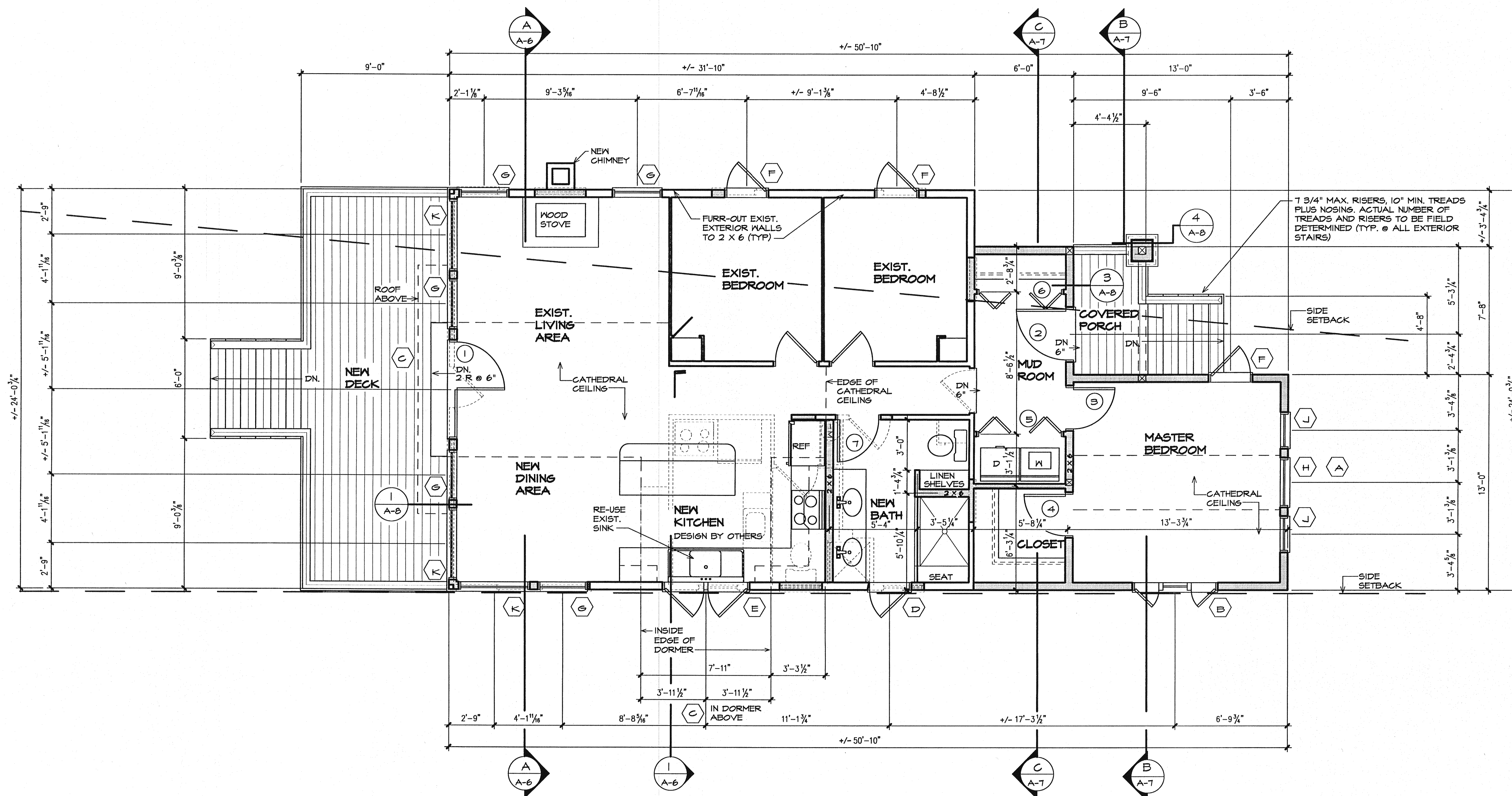
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07309201





**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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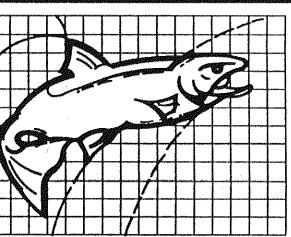
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CHECKED: KWB, PCH

DATE: 2-5-2008

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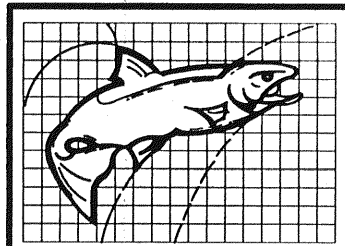
**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**A-3**

0730A301

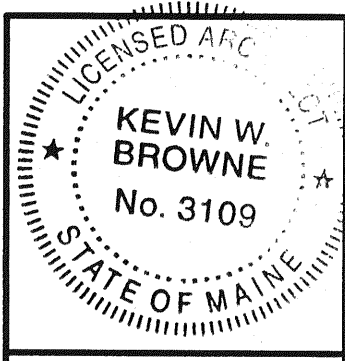




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2-5-2008

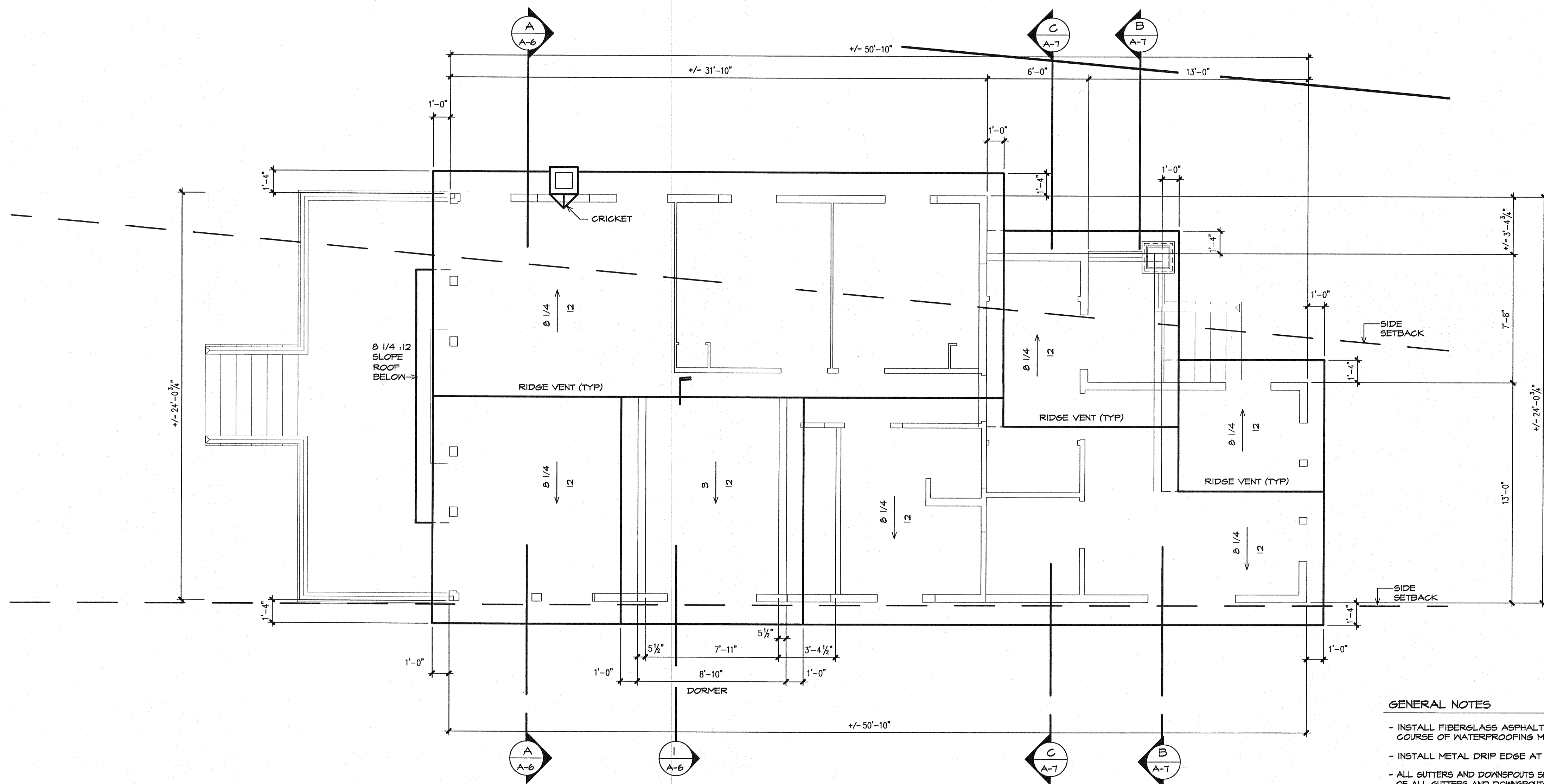
PROJECT NO.:

0730

**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

ROOF PLAN  
SCALE: 1/4" = 1'-0"

A-4



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- INSTALL FIBERGLASS ASPHALT SHINGLES OVER A COMPLETE COURSE OF WATERPROOFING MEMBRANE (TYP)
- INSTALL METAL DRIP EDGE AT ALL EAVES AND RAKES
- ALL GUTTERS AND DOWNSPOUTS SHALL BE COPPER - LOCATIONS OF ALL GUTTERS AND DOWNSPOUTS SHALL BE FIELD DETERMINED BY OWNER/ARCHITECT
- COUNTERFLASH ALL DRIP EDGES, GUTTERS, GUTTER STRAPS, ETC. W/ STRIP OF WATERPROOFING MEMBRANE

**SEE COVER SHEET FOR GENERAL NOTES AND CODE SUMMARY**

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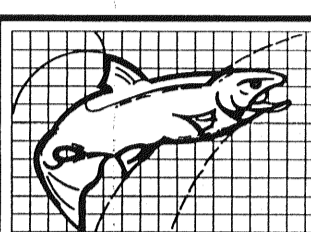
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0730A302





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KWB, FCH

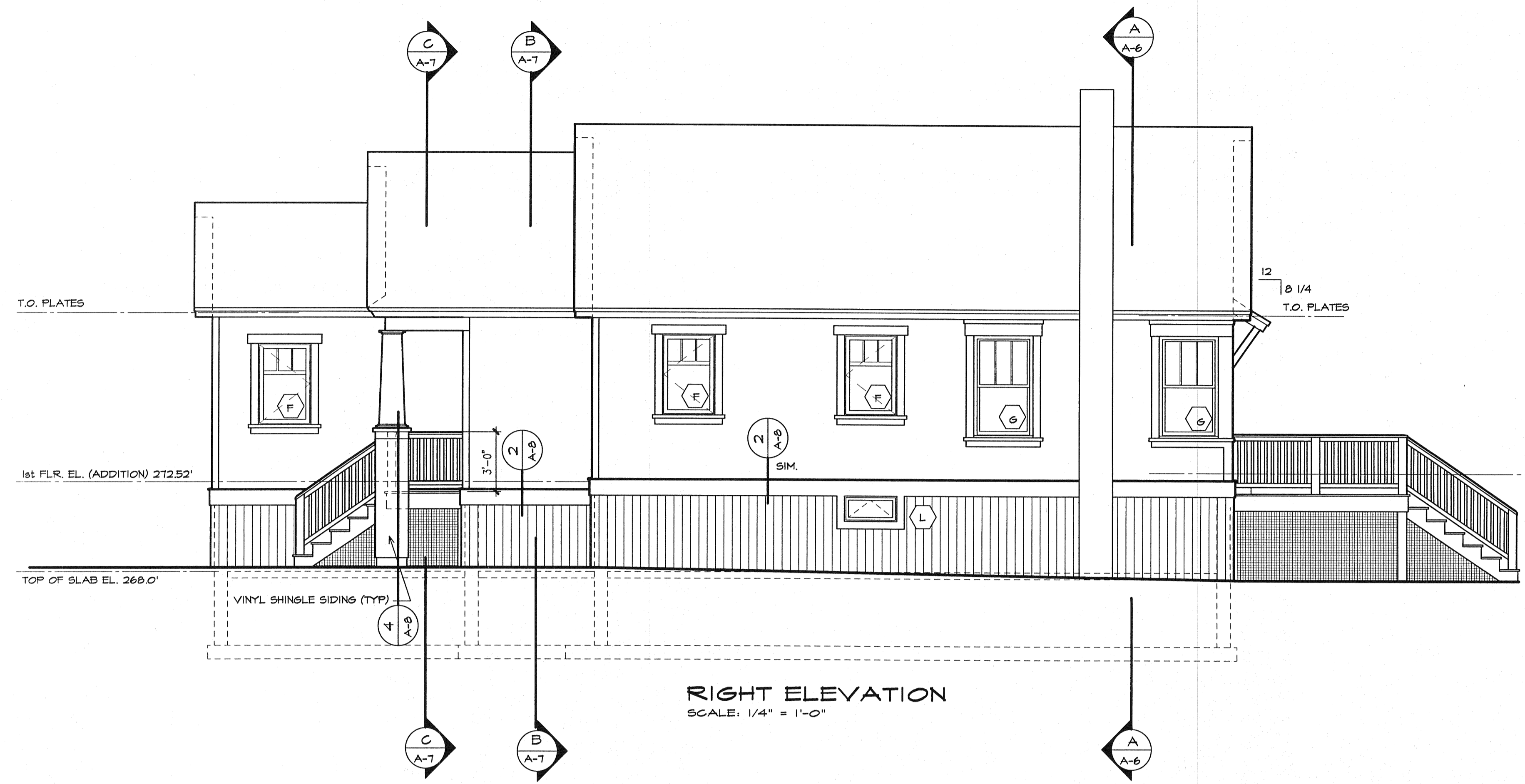
DATE:  
2-5-2008

PROJECT NO.  
0730

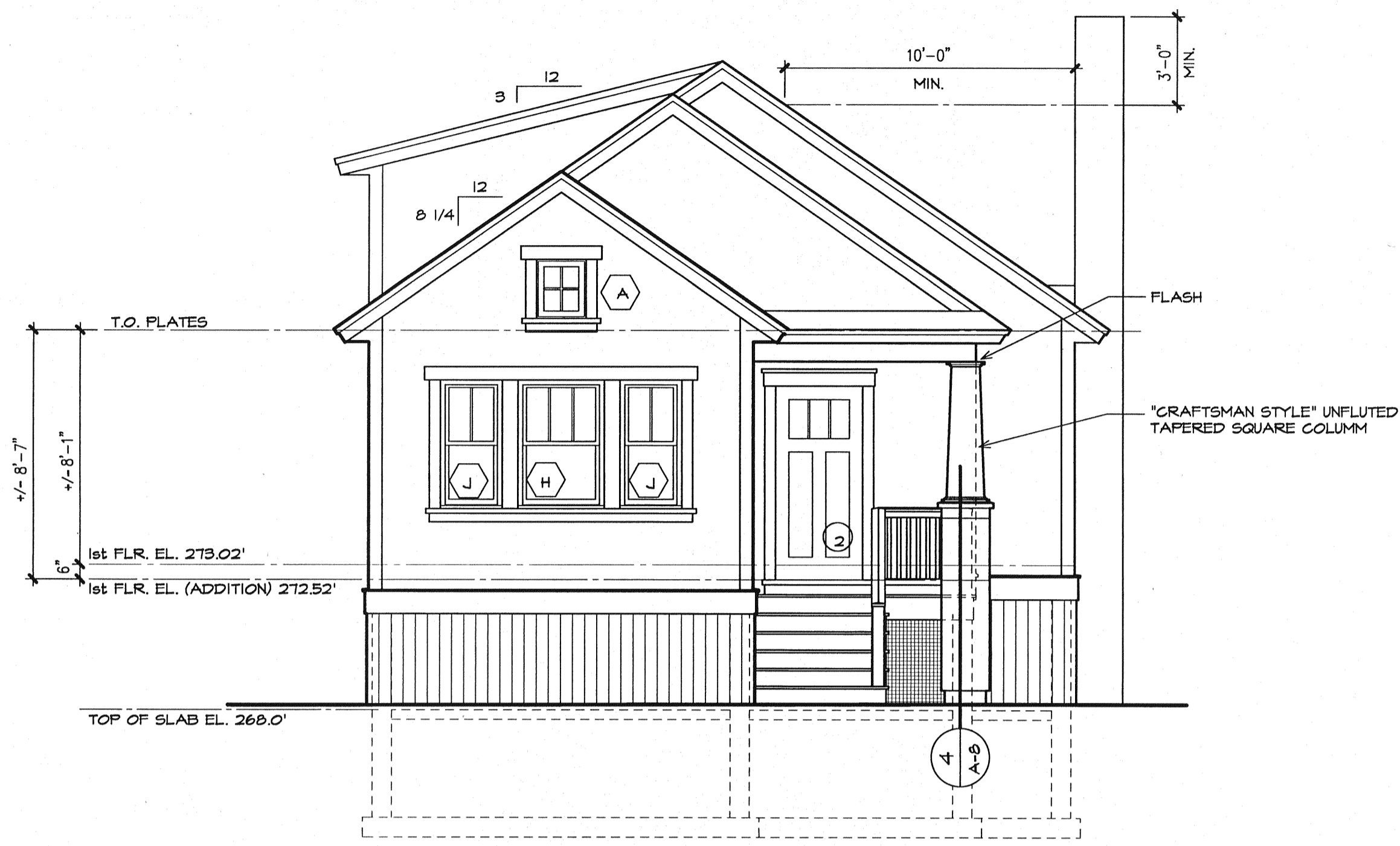
**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

**ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**A-5**

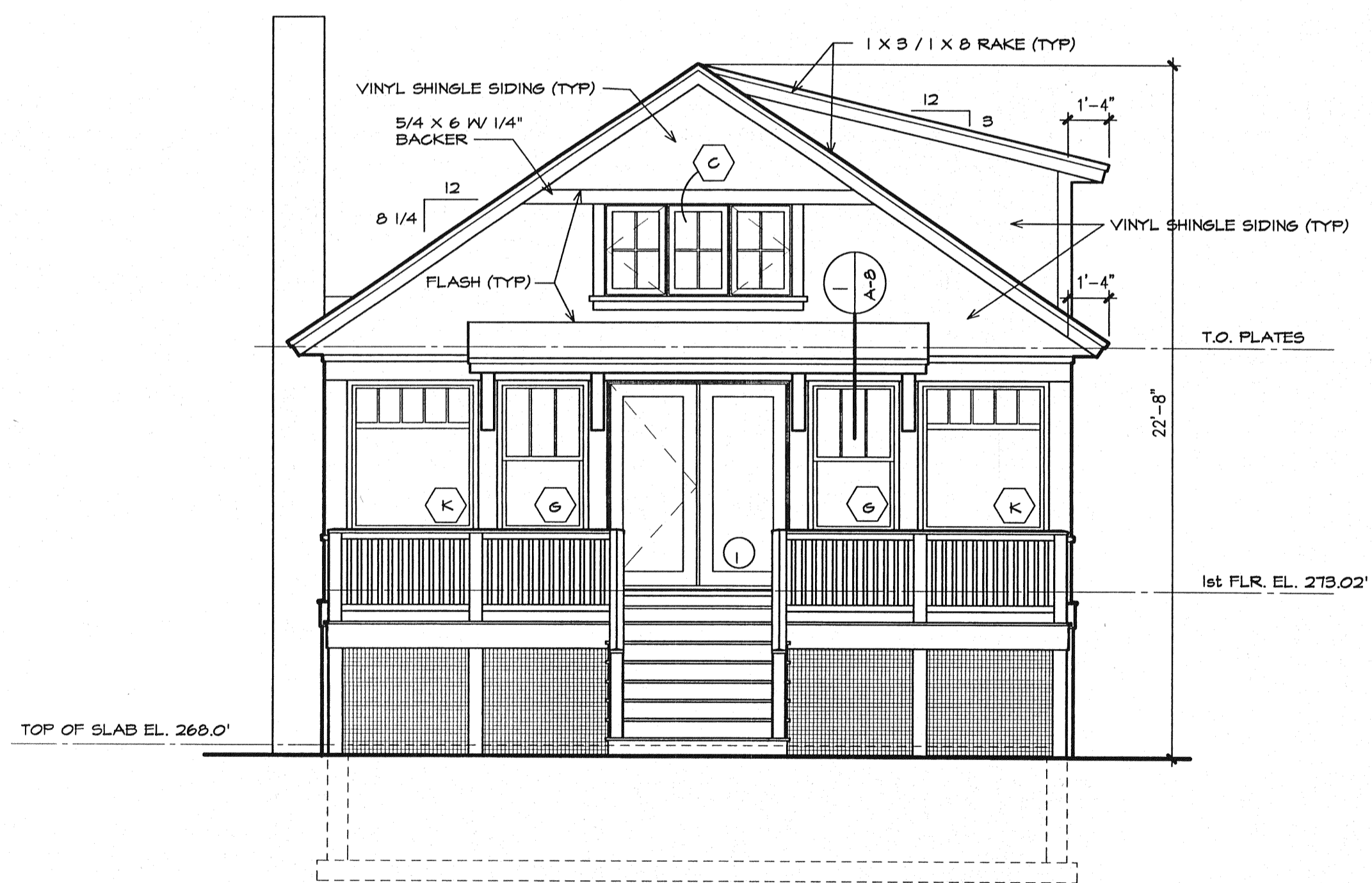


**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

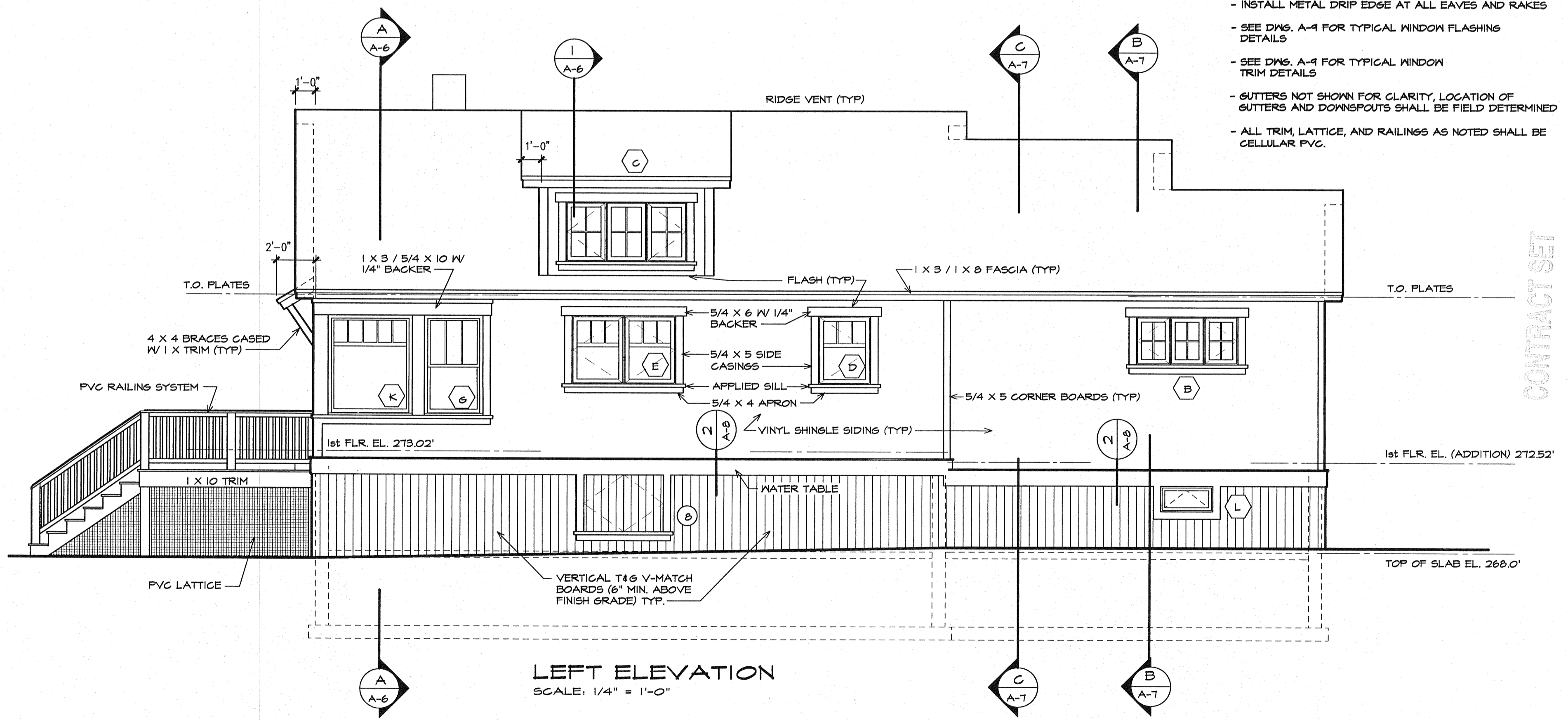


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

- GENERAL ELEVATION NOTES:**
- INSTALL FIBERGLASS ASPHALT SHINGLES OVER A COMPLETE COURSE OF WATERPROOFING MEMBRANE, TYPICAL ALL ROOF AREAS.
  - INSTALL METAL DRIP EDGE AT ALL EAVES AND RAKES
  - SEE DWGS. A-4 FOR TYPICAL WINDOW FLASHING DETAILS
  - SEE DWGS. A-3 FOR TYPICAL WINDOW TRIM DETAILS
  - GUTTERS NOT SHOWN FOR CLARITY, LOCATION OF GUTTERS AND DOWNSPOUTS SHALL BE FIELD DETERMINED
  - ALL TRIM, LATTICE, AND RAILINGS AS NOTED SHALL BE CELLULAR PVC.



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

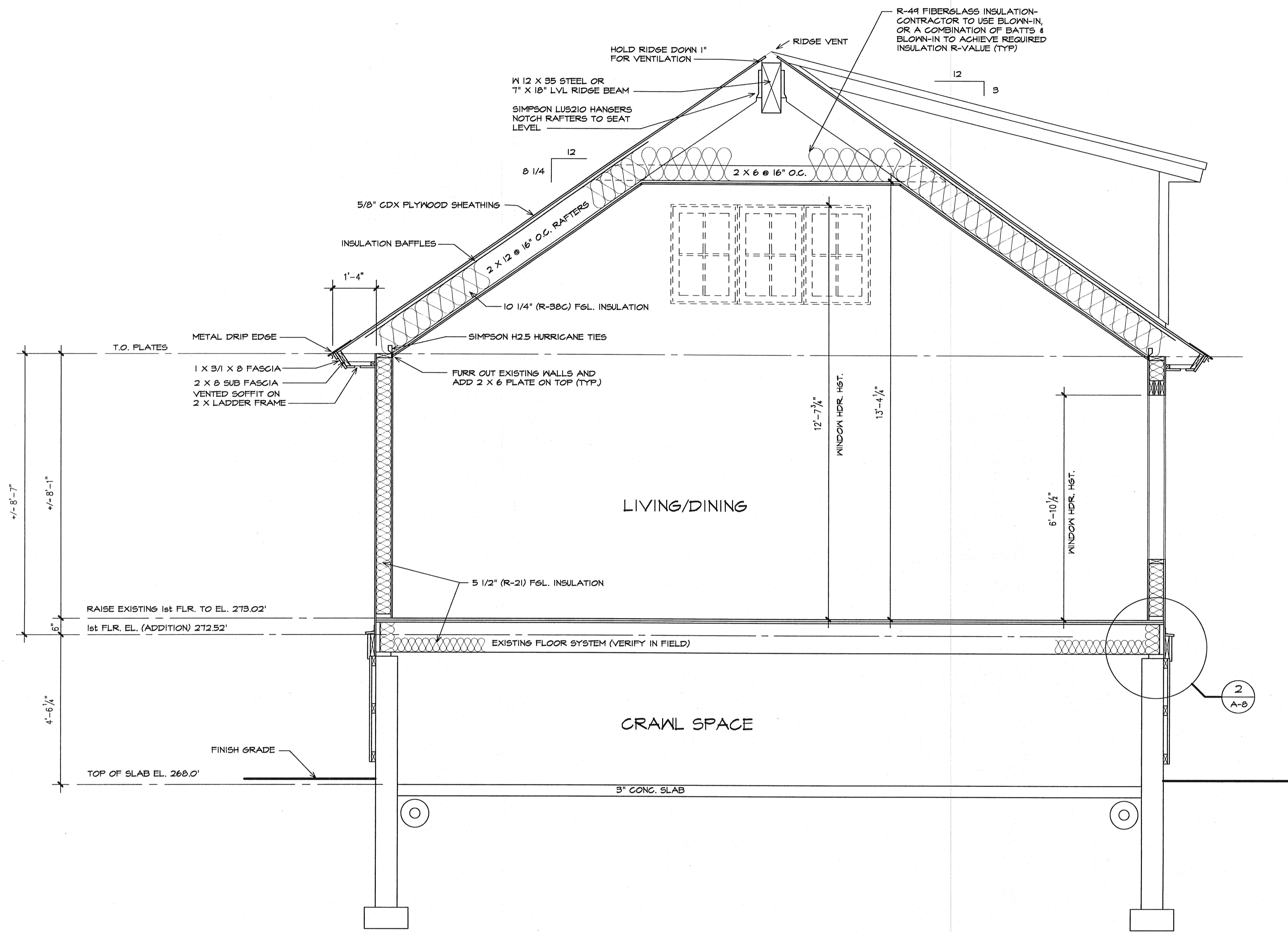
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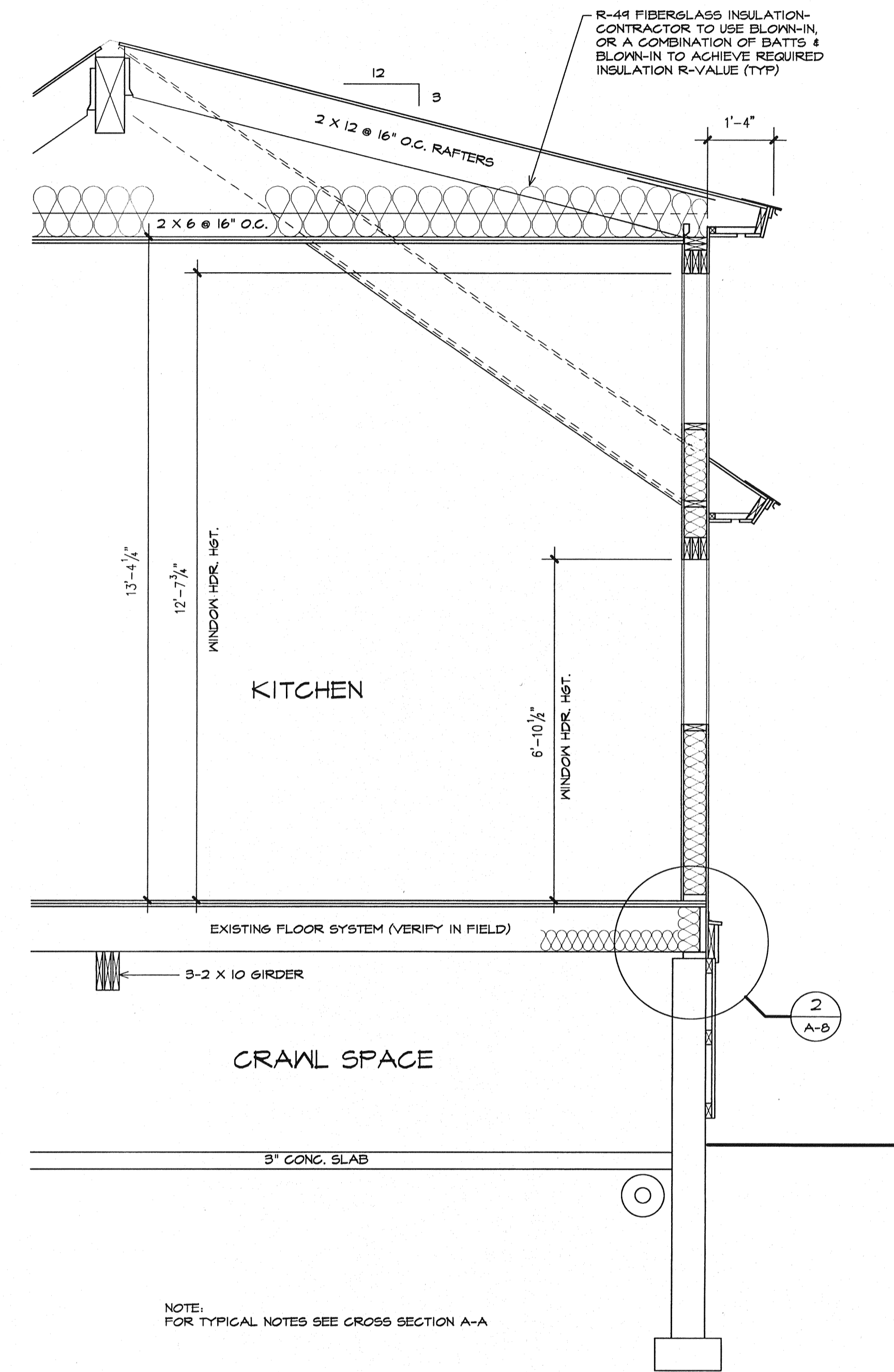
CONTRACT SET

0730A-01





**CROSS SECTION A-A**  
SCALE: 1/2" = 1'-0"



**SECTION I**  
SCALE: 1/2" = 1'-0"

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(207) 284-4546 (FAX)

LICENSED ARCHITECT  
**KEVIN W. BROWNE**  
No. 3109  
STATE OF MAINE

DRAWN: AKB  
CHECKED: KMB, PCH  
DATE: 2-5-2008  
PROJECT NO. 0730

**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

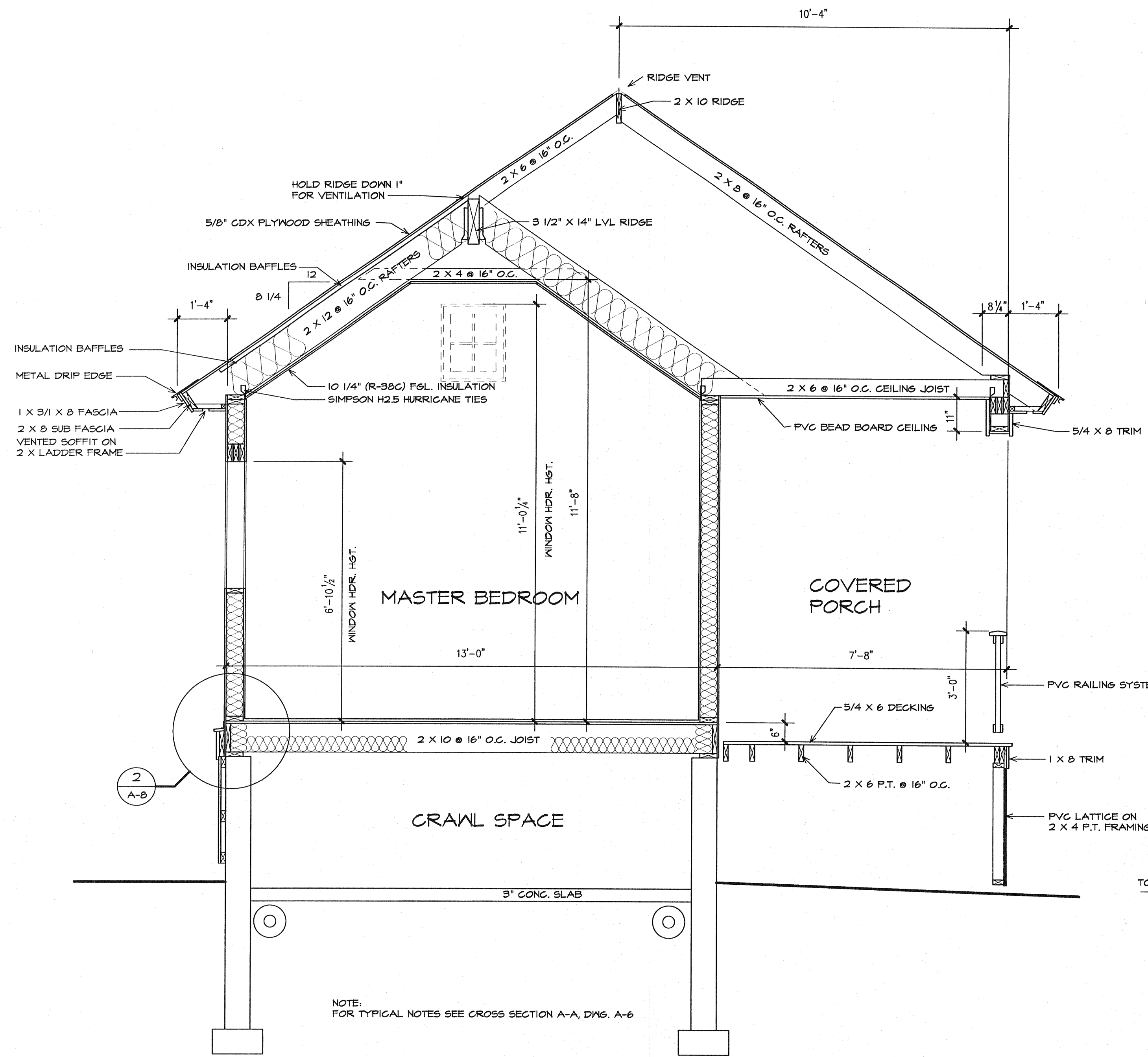
**CROSS SECTION A-A AND SECTION I**  
SCALE: 1/2" = 1'-0"

**A-6**

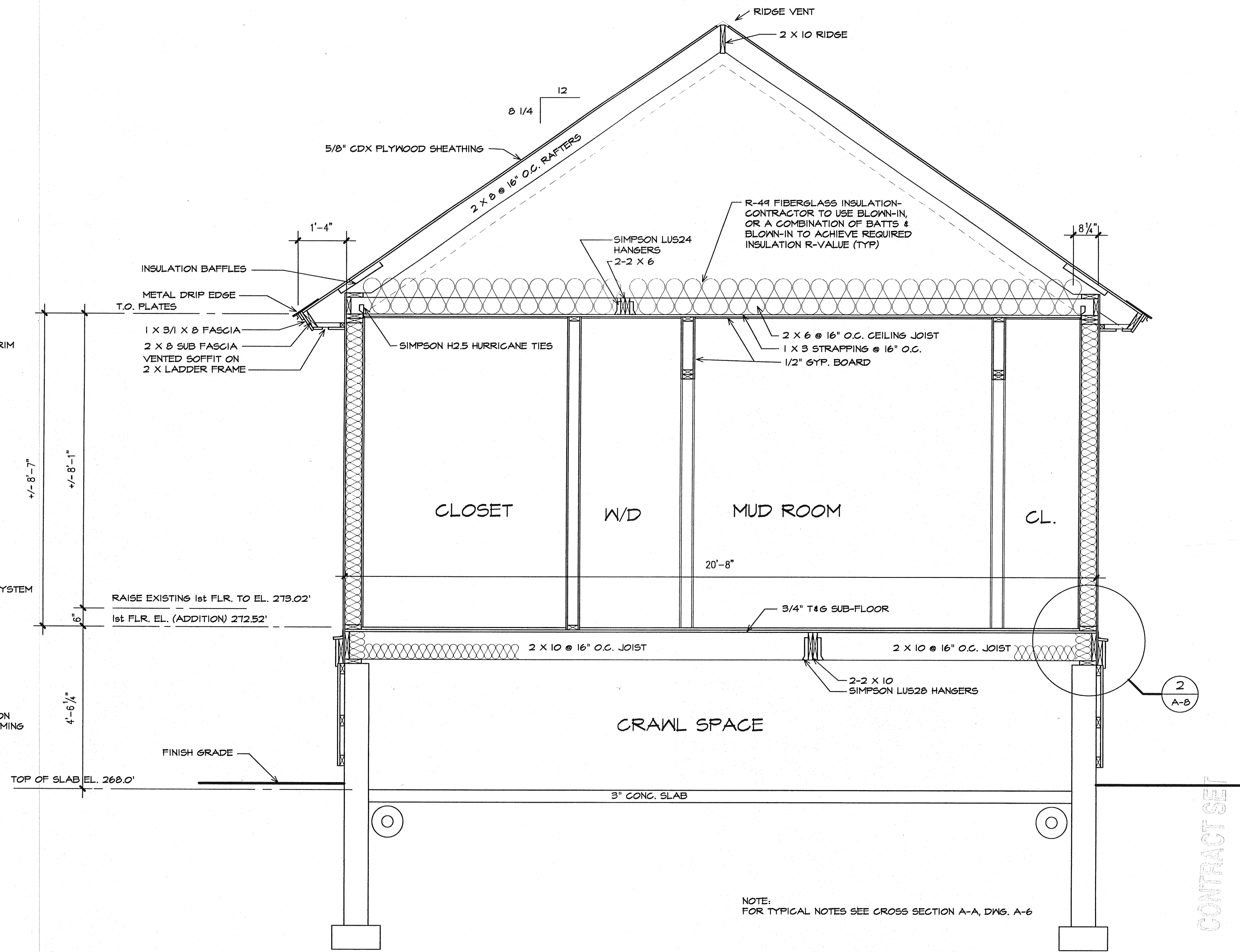
CONTRACT SET

0730A501





**CROSS SECTION B-B**  
SCALE: 1/2" = 1'-0"



**CROSS SECTION C-C**  
SCALE: 1/2" = 1'-0"

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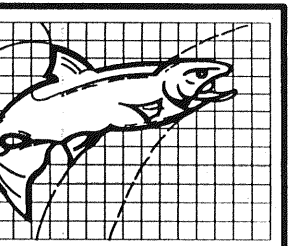
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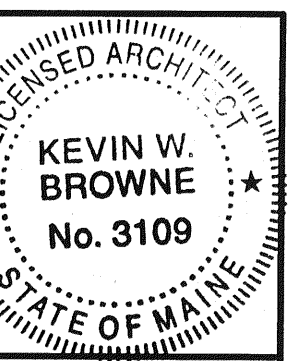
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Biddeford, ME 04005

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2-5-2008

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0730

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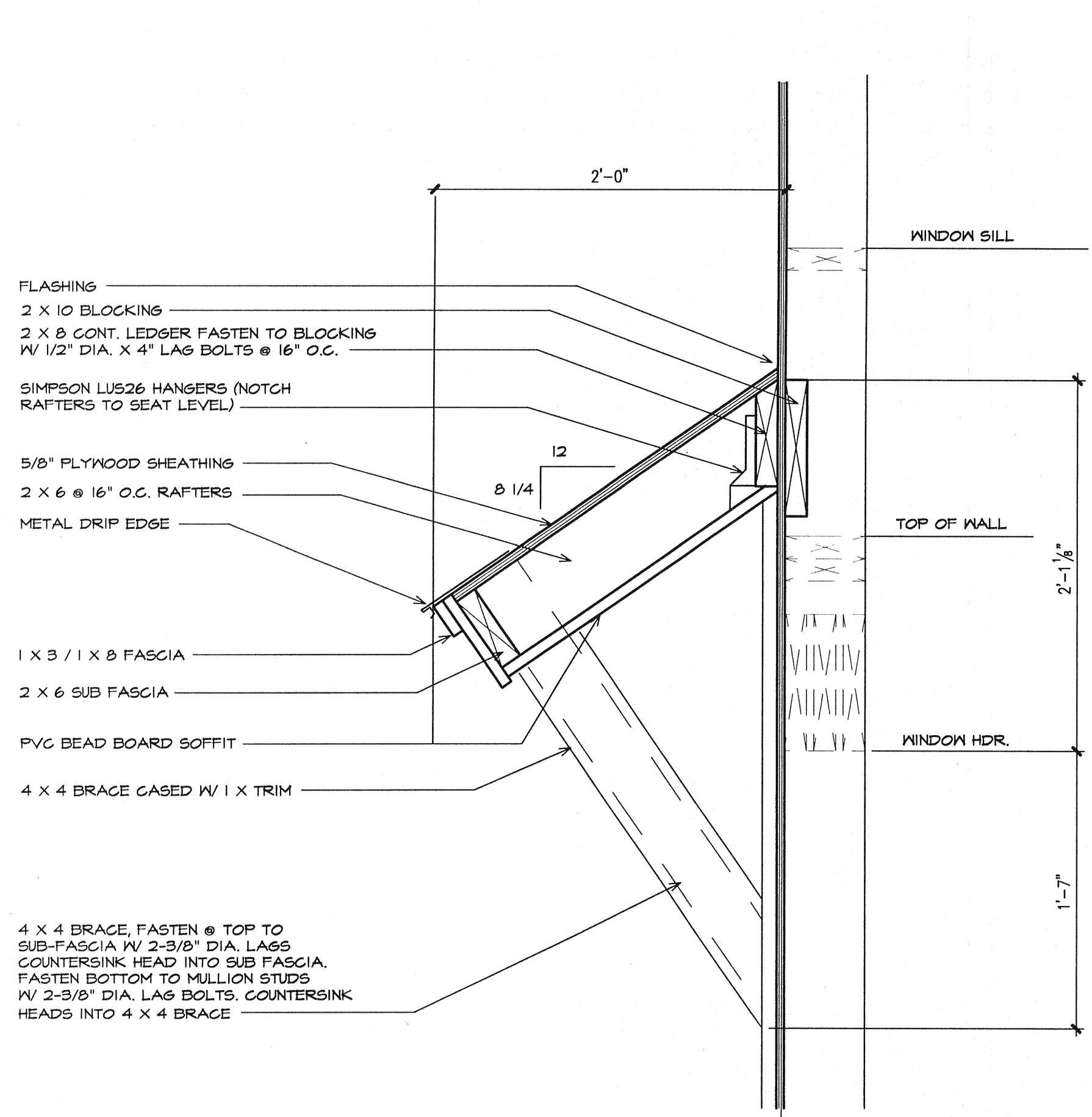
46 South Beach St.  
Sebago, Maine

**CROSS SECTION B-B  
AND C-C**  
SCALE: 1/2" = 1'-0"

**A-7**

0730A502

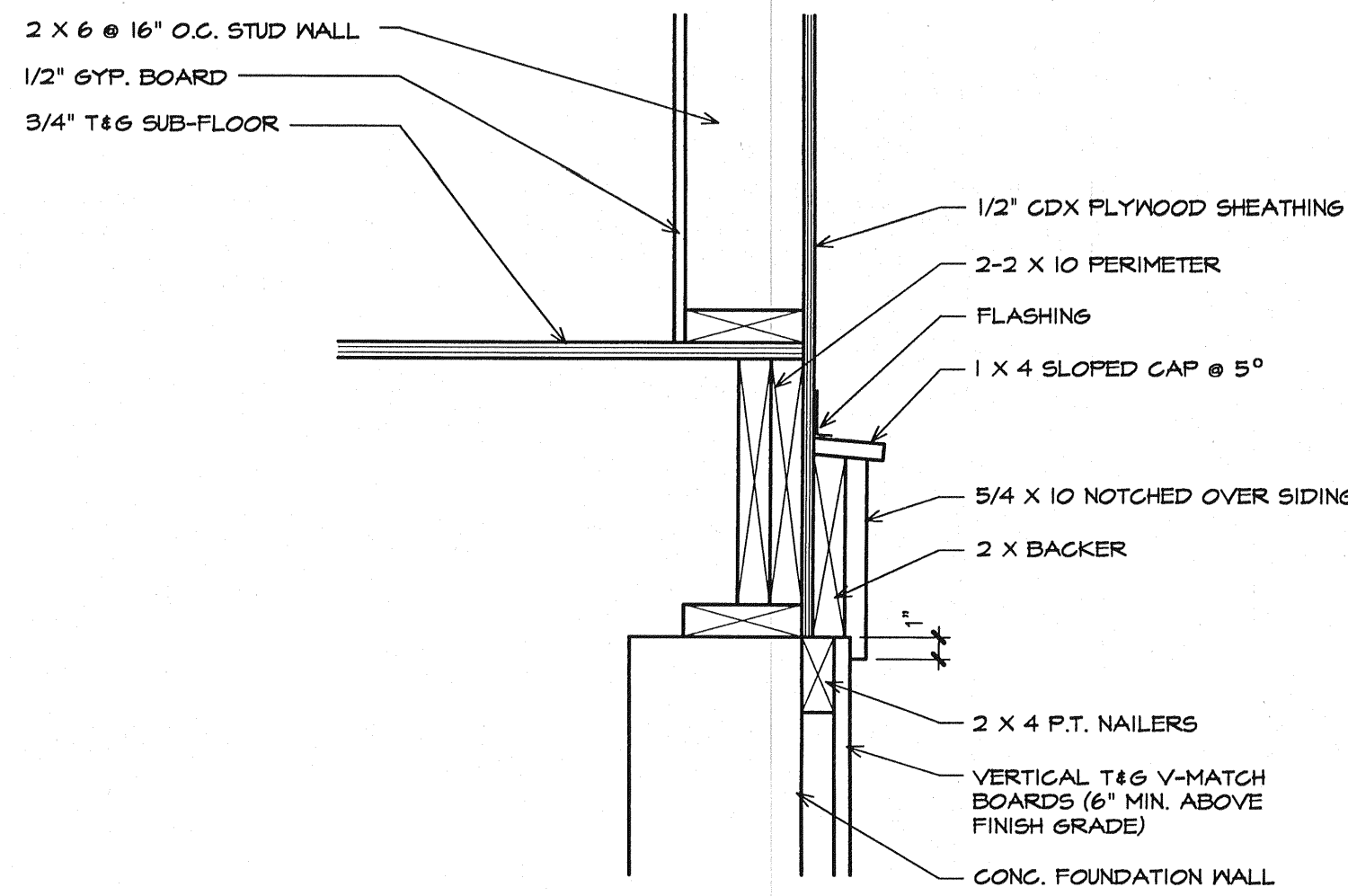




**PROJECTED ROOF DETAIL**

SCALE: 1/2" = 1'-0"

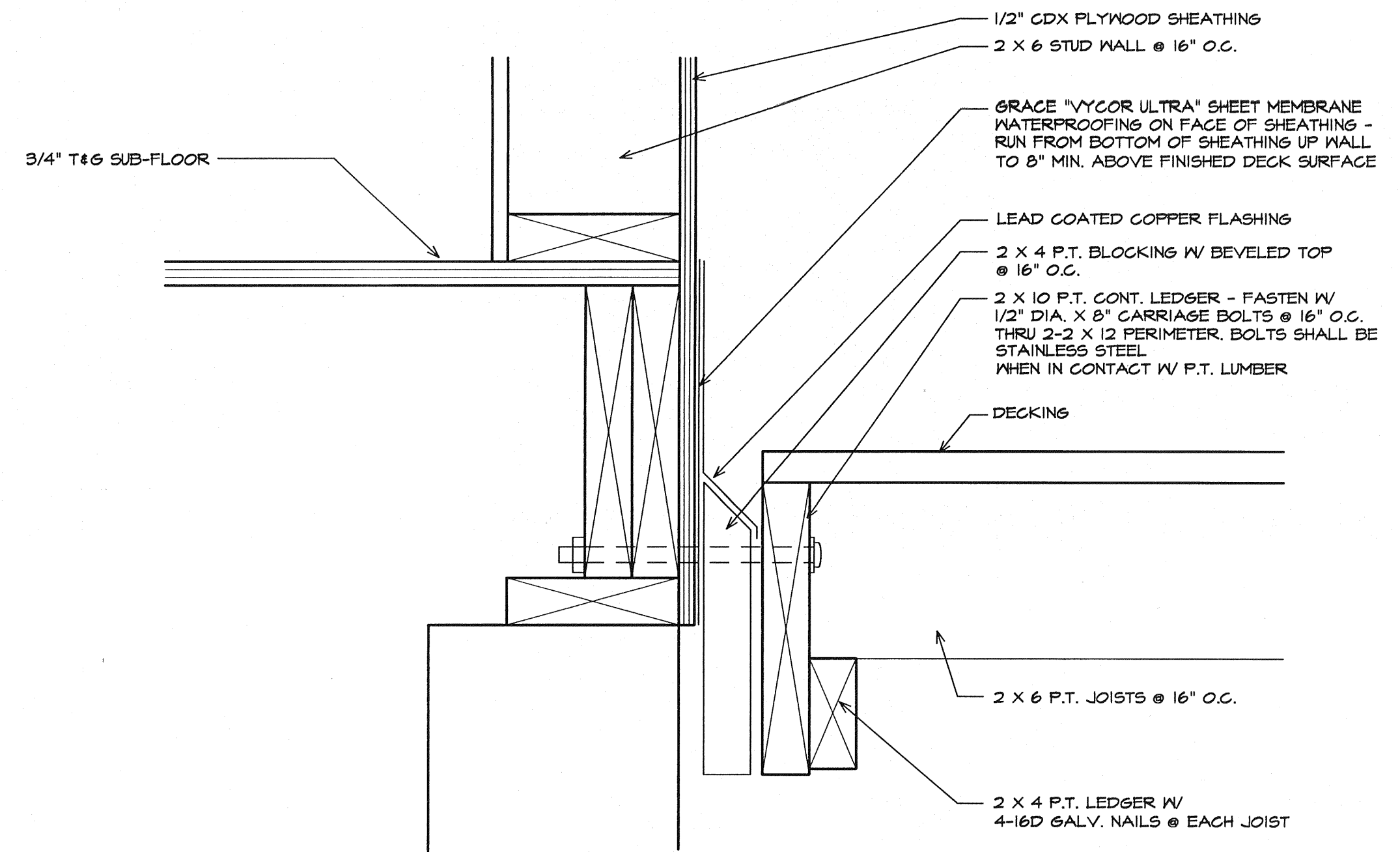
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**WATERTABLE DETAIL**

SCALE: 1/2" = 1'-0"

2

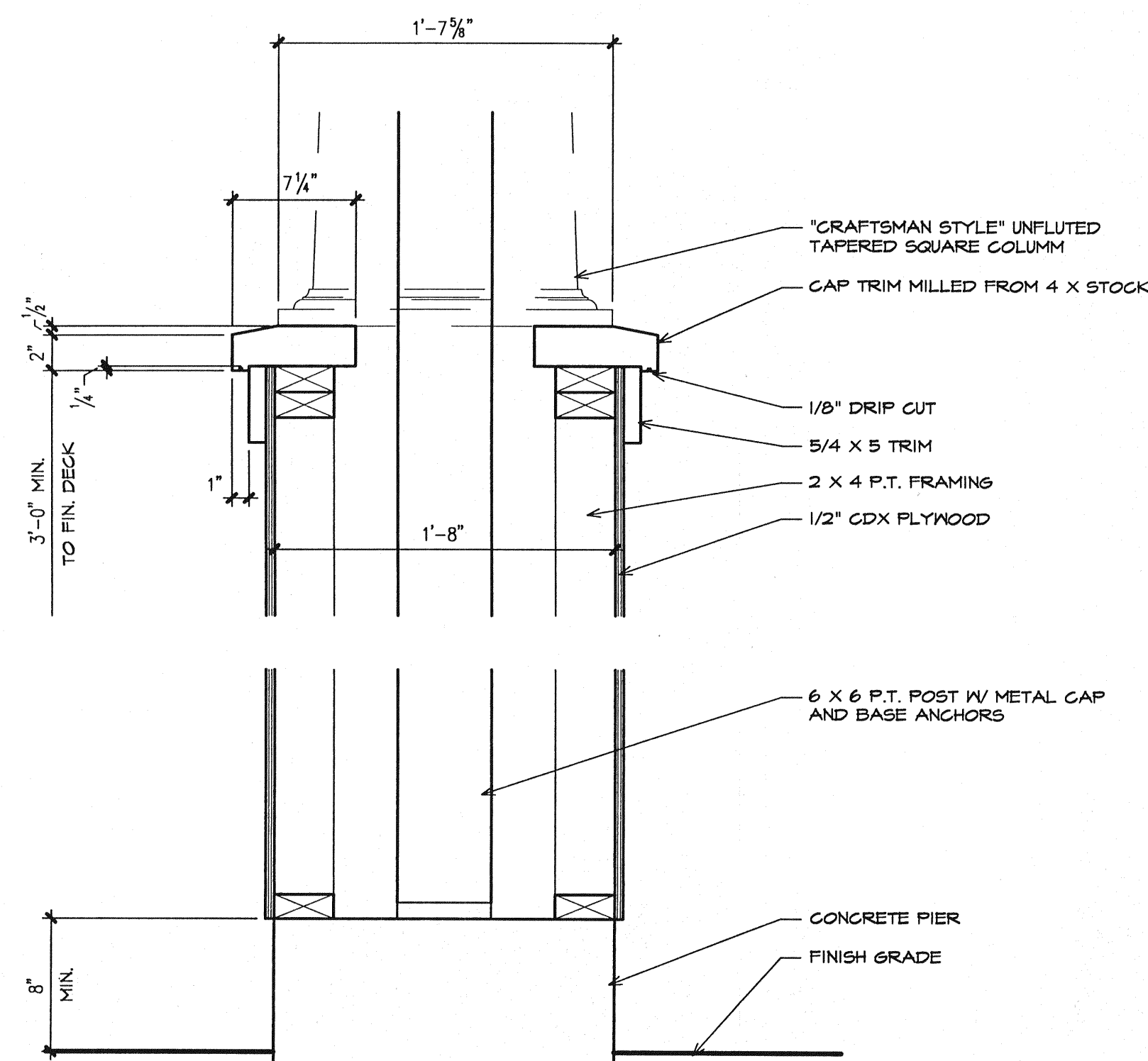


**DECK CONNECTION DETAIL**

SCALE: 3/8" = 1'-0"

\*DETAIL EXPLODED SLIGHTLY FOR CLARITY

3

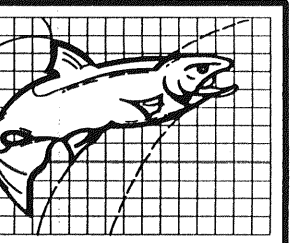


**COLUMN BASE DETAIL**

SCALE: 1/2" = 1'-0"

4

REVISIONS



**Salmon Falls**  
Architecture

Biddeford, ME 04005

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AKB

CHECKED:

KMB, PCH

DATE:

2-5-2008

PROJECT NO.

0730

**Powers Renovations**

46 South Beach St.  
Sebago, Maine

**EXTERIOR DETAILS**  
SCALE: AS NOTED

**A-8**

SEE COVER SHEET FOR GENERAL NOTES AND CODE SUMMARY

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07304600

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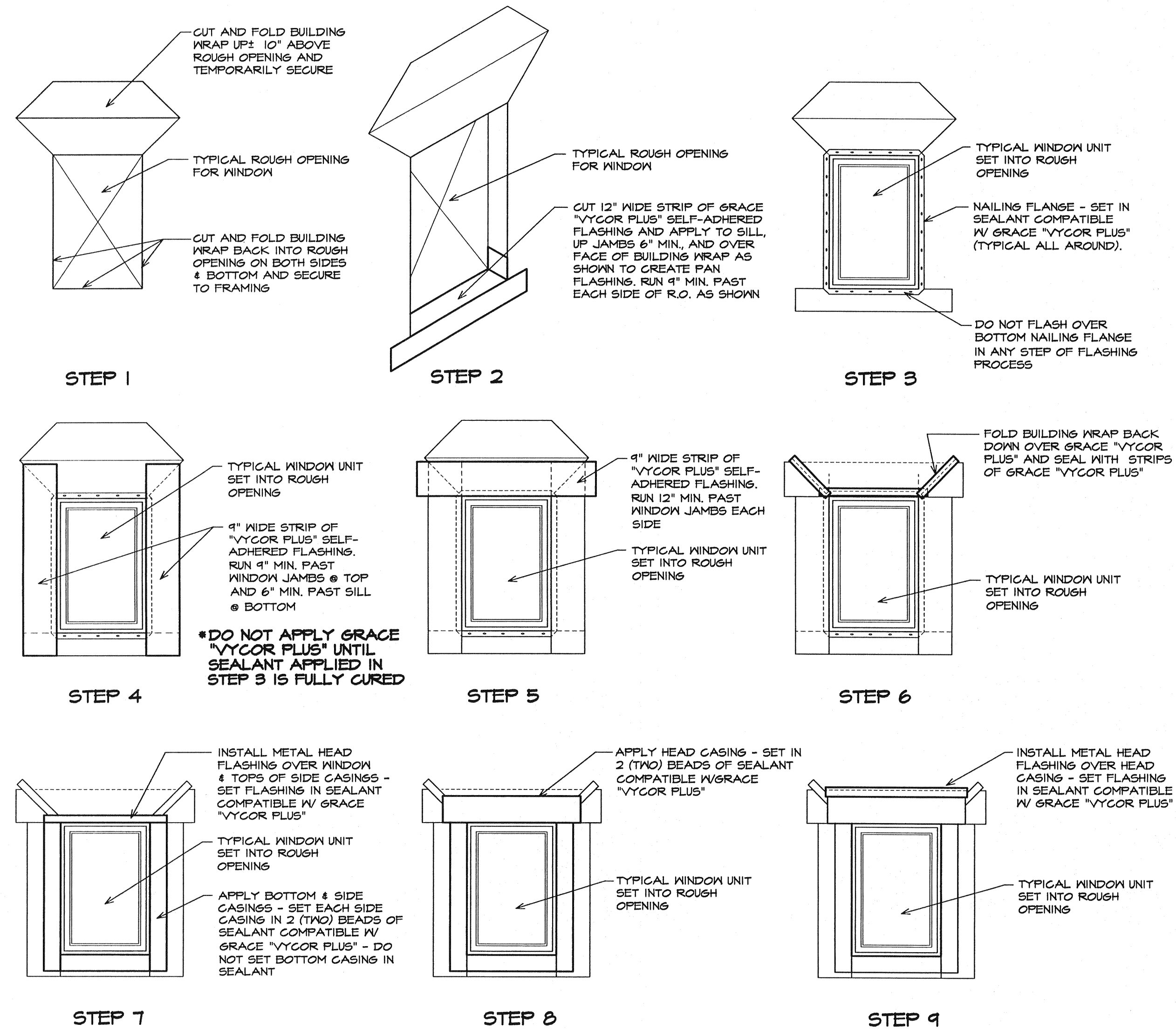
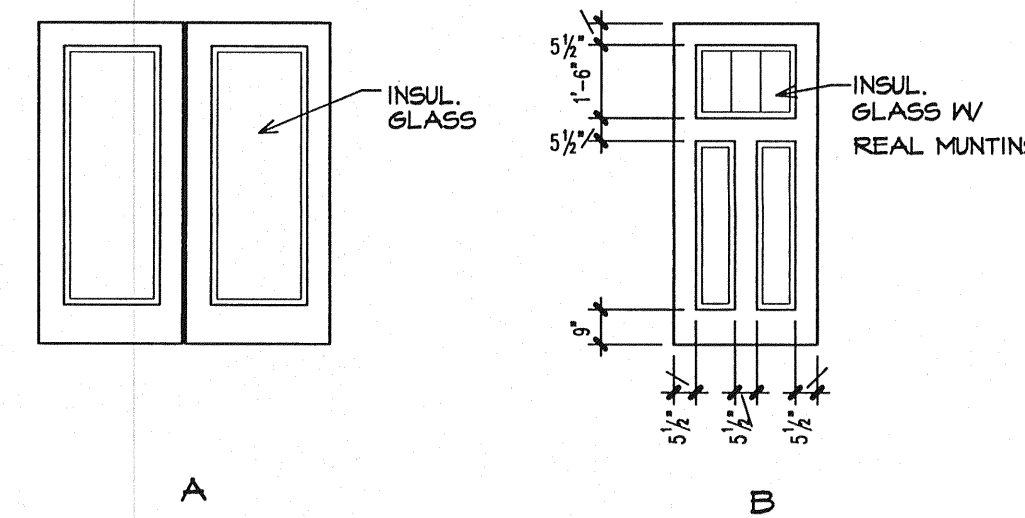
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DOOR SCHEDULE						
NO.	SIZE	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	HARDWARE	REMARKS
1	11'10" x 11'8"	A	CLAD WOOD	CLAD WOOD	BY MFR.	ANDERSEN 400 SERIES INSULING FRENCHWOOD PATIO
2	3'-0" X 6'-8"	B	WOOD	WOOD	LOCKSET	ROGUE VALLEY OR EQUAL
3	2'-6" X 6'-8"	MATCH EXIST.	WOOD	WOOD	PRIVACY	
4	2'-6" X 6'-8"	MATCH EXIST.	WOOD	WOOD	PASSAGE	
5	5'-0" X 6'-8"	MATCH EXIST.	WOOD	WOOD	PULL	BI-FOLD
6	5'-0" X 6'-8"	MATCH EXIST.	WOOD	WOOD	PULL	BI-FOLD
7	2'-6" X 6'-8"	MATCH EXIST.	WOOD	WOOD	PRIVACY	
8	2-2'-0" X 2'-10"		WOOD	WOOD	LOCKABLE	CUSTOM INSULATED WOOD ACCESS SEE ELEVATION DWS, A-5

WINDOW SCHEDULE			
LTR.	NOMINAL WINDOW SIZE	ROUGH OPENING	REMARKS
A	CN12	1'-4" X 2'-0 5/8"	FIXED CASEMENT 4 LITE
B	CN12-3	5'-2 1/4" X 2'-0 5/8"	CASEMENT 4 LITE
C	C83	6'-0 3/8" X 3'-0 1/2"	CASEMENT 4 LITE
D	CX195	2'-8" X 3'-5 3/8"	CASEMENT 3/1 LITE W/ THICK RAIL
E	CX295	5'-3 1/4" X 3'-5 3/8"	CASEMENT 3/1 LITE W/ THICK RAIL
F	CX14	2'-8" X 4'-0 1/2"	CASEMENT 3/1 LITE W/ THICK RAIL, EGRESS
G	WDH21Q410	3'-0 1/8" X 5'-0 7/8"	DOUBLE HUNG 3/1 LITE
H	WDH21Q42	3'-0 1/8" X 4'-4 7/8"	DOUBLE HUNG 3/1 LITE
J	WDH2042	2'-2 1/8" X 4'-4 7/8"	DOUBLE HUNG 2/1 LITE
K	WPM2410	4'-3 7/8" X 5'-0 7/8"	DOUBLE HUNG PICTURE 5/1 LITE W/ THICK RAIL
L	2813	2'-8 1/4" X 1'-3 3/4"	BASEMENT

**DOOR TYPES**

SCALE: 1/4" = 1'-0"

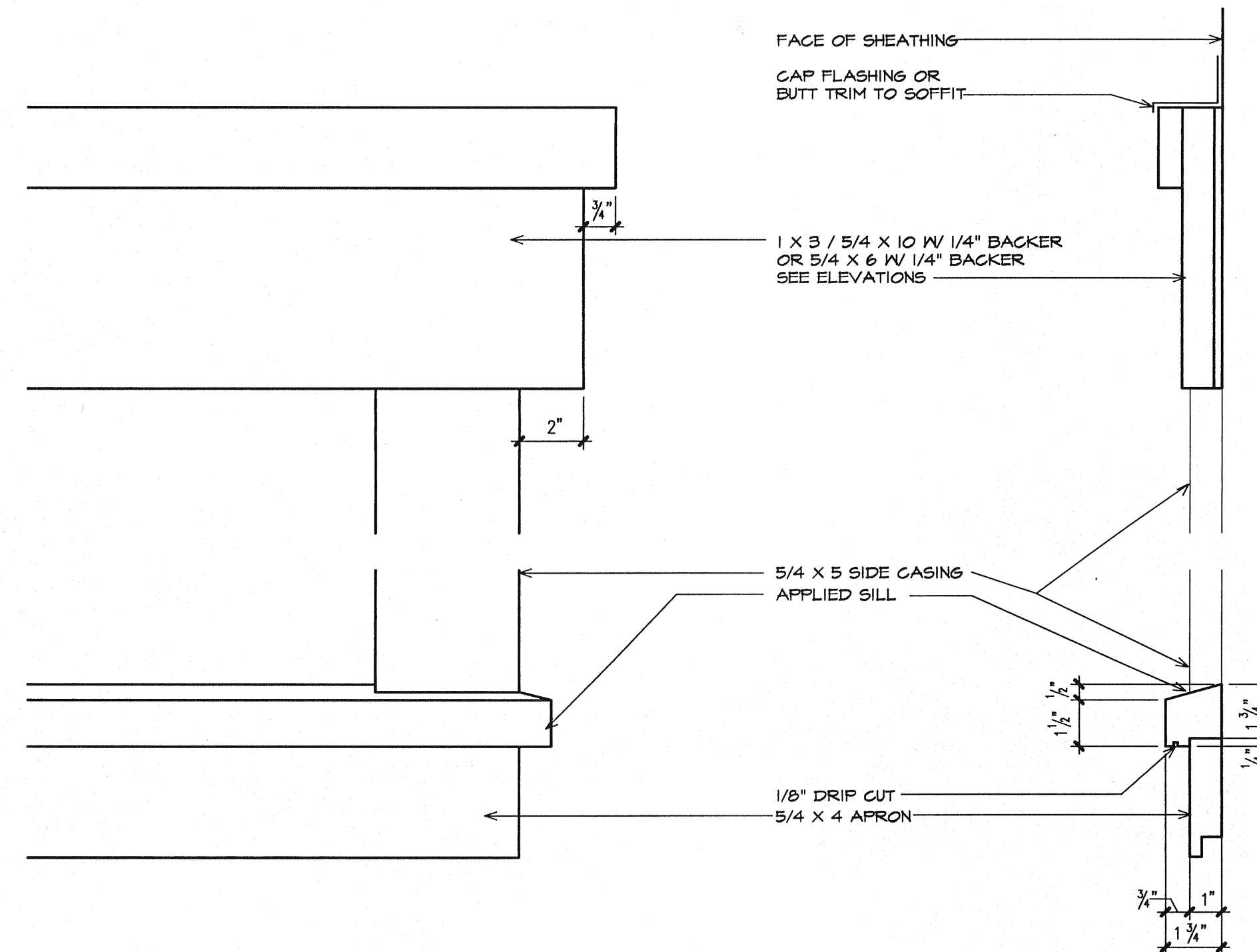


**TYPICAL WINDOW FLASHING DETAILS** (SIMILAR AT EXTERIOR DOORS)

SCALE: 1/2" = 1'-0"

**WINDOW SCHEDULE NOTES:**

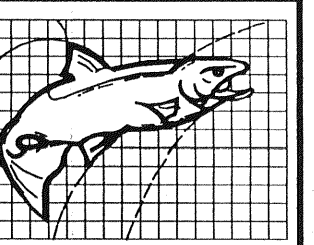
- CONTRACTOR SHALL MEASURE AND VERIFY ALL ROUGH OPENINGS WITH WINDOW MANUFACTURERS' PRINTED INFORMATION
  - ALL WINDOW ROUGH OPENING DIMENSIONS ARE BASED ON ANDERSEN WOODRIGHT DOUBLE-HUNG AND 400 SERIES CASEMENT WINDOWS UNLESS NOTED OTHERWISE.
  - SUBMIT COMPLETE WINDOW SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING WINDOWS.
  - EACH PANE OF GLAZING INSTALLED IN A "HAZARDOUS LOCATION" AS DEFINED BY THE IRC 2003, SHALL BE SAFETY GLAZING AS REQUIRED, AND SHALL BE SO LABELLED.
- \* THE SPECIFIED WINDOW AND/OR GLAZING MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR IDENTIFYING ALL SUCH "HAZARDOUS LOCATIONS" AND FURNISHING WINDOWS AND/OR GLAZING WITH THE GLAZING TYPE REQUIRED BY THE CODE FOR THE SPECIFIC LOCATION.



**TYPICAL EXTERIOR WINDOW TRIM**

SCALE: 3/8" = 1'-0"

REVISIONS



**Salmon Falls Architecture**

Biddeford, ME 04005

(207) 283-4247  
(207) 284-4546 (FAX)



DRAWN: AKB

CHECKED: KMB, PCH

DATE: 2-5-2008

PROJECT NO: 0750

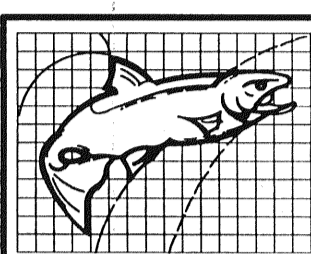
**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

**SCHEDULES & DETAILS**  
SCALE: AS NOTED

**A-9**

0730A800





Salmon Falls Architecture

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(207) 284-4546 (FAX)



DRAWN: AKB

CHECKED: KWB, PCH

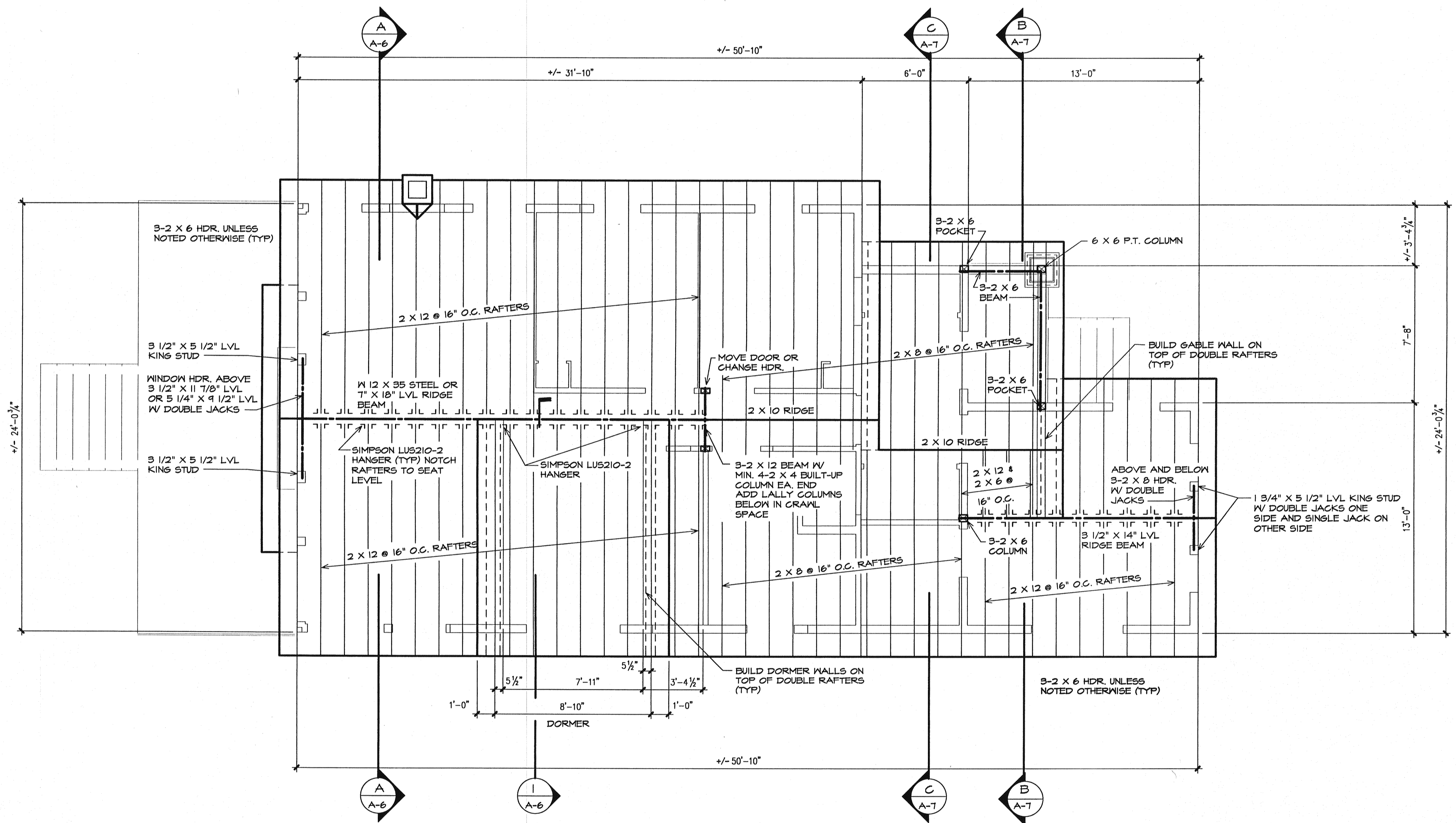
DATE: 2-5-2008

PROJECT NO. 0730

**Powers Renovations**  
46 South Beach St.  
Sebago, Maine

**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**ST-1**



**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

SEE COVER SHEET FOR GENERAL NOTES AND CODE SUMMARY

INFORMATION SHOWN ON THE COVER SHEET APPLIES TO ALL TRADES FOR THE WORK OF THIS PROJECT, AND INCLUDES TYPICAL NOTES AND SPECIFIC CODE REQUIREMENTS FOR THOSE TRADES. CROSS-REFERENCING THE CODE SUMMARY WITH THE DRAWINGS AND SPECIFICATIONS.

CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS AT THE WORK.

THIS DRAWING IS A PART OF A FULL SET OF DRAWINGS COMPRISING THE CONTRACT DOCUMENTS FOR THE WORK OF THIS PROJECT. THE ARCHITECT/OWNER ACCEPTS NO RESPONSIBILITY FOR THE CONTRACTOR'S ERRORS OR OMISSIONS IF EACH TRADE DOES NOT HAVE THE FULL SET OF DRAWINGS AND SPECIFICATIONS.

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